

**Project:** Klamath Community College Childcare Learning Center (2331.00)

**Date:** September 17, 2025

**To:** Interested Bidders

**Prepared by:** Karen Williams, AIA

This Addendum modifies the Project Manual, Specifications, and Drawings as follows:

**1. General Information**

1.1. **Last Addendum** – This is the last addendum.

**2. Changes to the Project Manual**

2.1. Section Contractors Insurance - Exhibit A - A101 2017  
2.1.1. Added information

**3. Changes to the Drawings**

**ARCHITECTURE:**

- 3.1. Sheet A016 - UTILITY COURT GATE – DETAILS
  - 3.1.1. REVISED drawing and ADDED keynotes to detail 1 – UTILITY ROLLING GATE JAMB – N
  - 3.1.2. REVISED drawing and ADDED keynotes to detail 2 – UTILITY ROLLING GATE JAMB – S
  - 3.1.3. REVISED drawing and ADDED keynotes to detail 1 – UTILITY PEDESTRIAN GATE JAMB
- 3.2. Sheet A115 - CLERESTORY PLAN - SECTOR A
  - 3.2.1. - Revised mezzanine to incorporate the access panel and integrated stair and ladder.
- 3.3. Sheet A116 - CLERESTORY PLAN - SECTOR B
  - 3.3.1. Revised mezzanine to incorporate the access panel and integrated stair and ladder.
- 3.4. Sheet A121 - REFLECTED CEILING PLAN - SECTOR A
  - 3.4.1. - Added access hatch with integrated ladder.
- 3.5. Sheet A122 - REFLECTED CEILING PLAN - SECTOR B
  - 3.5.1. - Added access hatch with integrated ladder.
- 3.6. Sheet A200 – EXTERIOR MATERIAL AND FINISH LEGEND
  - 3.6.1. - Revised fascia flashing 2 to be a metal panel profile from bent metal

- 3.7. Sheet A310 – WALL SECTION
  - 3.7.1. - Revised detail callouts to reference correct condition detail
- 3.8. Sheet A335 – CANOPY DETAILS
  - 3.8.1. - Added new detail for canopy beam at wall
  - 3.8.2. - Revised canopy edge detail for finish materials and height
- 3.9. Sheet A630 – TYP. OPENING DETAILS
  - 3.9.1. NEW SHEET
- 3.10. Sheet A635 – DOOR DETAILS
  - 3.10.1. NEW SHEET
- 3.11. Sheet A638 – STOREFRONT DETAILS
  - 3.11.1. NEW SHEET
- 3.12. Sheet A650 – INTERIOR WINDOW DETAILS
  - 3.12.1. NEW SHEET
- 3.13. Sheet A653 – INTERIOR DOOR DETAILS
  - 3.13.1. NEW SHEET

**STRUCTURE:**

- 3.14. Sheet S213 & S214
  - 3.14.1. - Revised mezzanine floor framing to have floor joists stop short of stud wall and be supported by GLB.
  - 3.14.2. Added 2x blocking to panel edges of mezzanine floor sheathing, Keynote 1.
  - 3.14.3. Revised keynote 3 to be GLB.
  - 3.14.4. Revised keynote 7 GLB size
  - 3.14.5. Revised size of ceiling attic access panel size for keynote 8.
- 3.15. Sheet S501
  - 3.15.1. Revised Detail 6/S501 to reflect change in mezzanine framing stopping short of stud wall.

**Substitution Approvals**

- 3.16. None at this time

**4. Attachments**

- 4.1. KCC CLC – ADD\_007\_Coversheet and Project Manual.pdf
- 4.2. KCC\_ELC\_ ADD\_007\_ Drawings.pdf

**5. Bidder Questions:**

- 5.1. **Question:** There are 3 mixing valves shown at the water heaters, but there are no models listed in the fixture schedule or specifications. Manufacturers are listed

in specifications, however. Should we find appropriate valves for the applications and submit on those from the listed manufacturers or will models be provided by the engineering team?

5.1.1. **Response:** See revised schedules provided in addendum 6.

5.2. **Question:** In addendum 4, circuit setters and balancing valves were added to the recirculation system, can the engineering team please provide a model and manufacturer that would meet their requirements. The circuit setters are only listed in details 1/501 and 2/501. No further information about circuit setters is shown in the fixture schedule or specifications. Balancing valves do show approved manufactures in the specifications and flow rates in the details, but no approved model.

5.2.1. **Response:** Owner/General Contractor to choose specific model number to match installation preferences/requirements.

-----End of Addenda-----

# DRAFT AIA® Document A101® – 2017

## Exhibit A

### Insurance and Bonds

This Insurance and Bonds Exhibit is part of the Agreement, between the Owner and the Contractor, dated the « » day of « » in the year « »  
(In words, indicate day, month and year.)

for the following **PROJECT**:  
(Name and location or address)

Klamath Community College Childcare Learning Center  
South 6<sup>th</sup> Street  
Klamath Falls, OR 97603

**THE OWNER:**  
(Name, legal status and address)

Klamath Community College  
7390 South 6<sup>th</sup> Street  
Klamath Falls, OR 97603

**THE CONTRACTOR:**  
(Name, legal status and address)

« »  
«  
»

#### TABLE OF ARTICLES

- A.1 GENERAL
- A.2 OWNER'S INSURANCE
- A.3 CONTRACTOR'S INSURANCE AND BONDS
- A.4 SPECIAL TERMS AND CONDITIONS

#### ARTICLE A.1 GENERAL

The Owner and Contractor shall purchase and maintain insurance, and provide bonds, as set forth in this Exhibit. As used in this Exhibit, the term General Conditions refers to AIA Document A201™–2017, General Conditions of the Contract for Construction.

#### ARTICLE A.2 OWNER'S INSURANCE

##### § A.2.1 General

Prior to commencement of the Work, the Owner shall secure the insurance, and provide evidence of the coverage, required under this Article A.2 and, upon the Contractor's request, provide a copy of the property insurance policy or policies required by Section A.2.3. The copy of the policy or policies provided shall contain all applicable conditions, definitions, exclusions, and endorsements.

#### ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

This document is intended to be used in conjunction with AIA Document A201®–2017, General Conditions of the Contract for Construction. Article 11 of A201®–2017 contains additional insurance provisions.

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## § A.2.2 Liability Insurance

The Owner shall be responsible for purchasing and maintaining the Owner's usual general liability insurance.

## § A.2.3 Required Property Insurance

**§ A.2.3.1** Unless this obligation is placed on the Contractor pursuant to Section A.3.3.2.1, the Owner shall purchase and maintain, from an insurance company or insurance companies lawfully authorized to issue insurance in the jurisdiction where the Project is located, property insurance written on a builder's risk "all-risks" completed value or equivalent policy form and sufficient to cover the total value of the entire Project on a replacement cost basis. The Owner's property insurance coverage shall be no less than the amount of the initial Contract Sum, plus the value of subsequent Modifications and labor performed and materials or equipment supplied by others. The property insurance shall be maintained until Substantial Completion and thereafter as provided in Section A.2.3.1.3, unless otherwise provided in the Contract Documents or otherwise agreed in writing by the parties to this Agreement. This insurance shall include the interests of the Owner, Contractor, Subcontractors, and Sub-subcontractors in the Project as insureds. This insurance shall include the interests of mortgagees as loss payees.

**§ A.2.3.1.1 Causes of Loss.** The insurance required by this Section A.2.3.1 shall provide coverage for direct physical loss or damage, and shall not exclude the risks of fire, explosion, theft, vandalism, malicious mischief, collapse, earthquake, flood, or windstorm. The insurance shall also provide coverage for ensuing loss or resulting damage from error, omission, or deficiency in construction methods, design, specifications, workmanship, or materials. Sub-limits, if any, are as follows:

*(Indicate below the cause of loss and any applicable sub-limit.)*

Causes of Loss	Sub-Limit

**§ A.2.3.1.2 Specific Required Coverages.** The insurance required by this Section A.2.3.1 shall provide coverage for loss or damage to falsework and other temporary structures, and to building systems from testing and startup. The insurance shall also cover debris removal, including demolition occasioned by enforcement of any applicable legal requirements, and reasonable compensation for the Architect's and Contractor's services and expenses required as a result of such insured loss, including claim preparation expenses. Sub-limits, if any, are as follows:

*(Indicate below type of coverage and any applicable sub-limit for specific required coverages.)*

Coverage	Sub-Limit

**§ A.2.3.1.3** Unless the parties agree otherwise, upon Substantial Completion, the Owner shall continue the insurance required by Section A.2.3.1 or, if necessary, replace the insurance policy required under Section A.2.3.1 with property insurance written for the total value of the Project that shall remain in effect until expiration of the period for correction of the Work set forth in Section 12.2.2 of the General Conditions.

**§ A.2.3.1.4 Deductibles and Self-Insured Retentions.** If the insurance required by this Section A.2.3 is subject to deductibles or self-insured retentions, the Owner shall be responsible for all loss not covered because of such deductibles or retentions.

**§ A.2.3.2 Occupancy or Use Prior to Substantial Completion.** The Owner's occupancy or use of any completed or partially completed portion of the Work prior to Substantial Completion shall not commence until the insurance company or companies providing the insurance under Section A.2.3.1 have consented in writing to the continuance of coverage. The Owner and the Contractor shall take no action with respect to partial occupancy or use that would cause cancellation, lapse, or reduction of insurance, unless they agree otherwise in writing.

## § A.2.3.3 Insurance for Existing Structures

If the Work involves remodeling an existing structure or constructing an addition to an existing structure, the Owner shall purchase and maintain, until the expiration of the period for correction of Work as set forth in Section 12.2.2 of the General Conditions, "all-risks" property insurance, on a replacement cost basis, protecting the existing structure against direct physical loss or damage from the causes of loss identified in Section A.2.3.1, notwithstanding the undertaking of the Work. The Owner shall be responsible for all co-insurance penalties.

#### § A.2.4 Optional Extended Property Insurance.

The Owner shall purchase and maintain the insurance selected and described below.

*(Select the types of insurance the Owner is required to purchase and maintain by placing an X in the box(es) next to the description(s) of selected insurance. For each type of insurance selected, indicate applicable limits of coverage or other conditions in the fill point below the selected item.)*

- [ ☐ ] **§ A.2.4.1 Loss of Use, Business Interruption, and Delay in Completion Insurance**, to reimburse the Owner for loss of use of the Owner's property, or the inability to conduct normal operations due to a covered cause of loss.
- »
- [ ☒ ] **§ A.2.4.2 Ordinance or Law Insurance**, for the reasonable and necessary costs to satisfy the minimum requirements of the enforcement of any law or ordinance regulating the demolition, construction, repair, replacement or use of the Project.
- « 50,000 »
- [ ☐ ] **§ A.2.4.3 Expediting Cost Insurance**, for the reasonable and necessary costs for the temporary repair of damage to insured property, and to expedite the permanent repair or replacement of the damaged property.
- « »
- [ ☐ ] **§ A.2.4.4 Extra Expense Insurance**, to provide reimbursement of the reasonable and necessary excess costs incurred during the period of restoration or repair of the damaged property that are over and above the total costs that would normally have been incurred during the same period of time had no loss or damage occurred.
- « »
- [ ☐ ] **§ A.2.4.5 Civil Authority Insurance**, for losses or costs arising from an order of a civil authority prohibiting access to the Project, provided such order is the direct result of physical damage covered under the required property insurance.
- « »
- [ ☐ ] **§ A.2.4.6 Ingress/Egress Insurance**, for loss due to the necessary interruption of the insured's business due to physical prevention of ingress to, or egress from, the Project as a direct result of physical damage.
- « »
- [ ☒ ] **§ A.2.4.7 Soft Costs Insurance**, to reimburse the Owner for costs due to the delay of completion of the Work, arising out of physical loss or damage covered by the required property insurance: including construction loan fees; leasing and marketing expenses; additional fees, including those of architects, engineers, consultants, attorneys and accountants, needed for the completion of the construction, repairs, or reconstruction; and carrying costs such as property taxes, building permits, additional interest on loans, realty taxes, and insurance premiums over and above normal expenses.

To Be Determined

#### § A.2.5 Other Optional Insurance.

The Owner shall purchase and maintain the insurance selected below.

(Select the types of insurance the Owner is required to purchase and maintain by placing an X in the box(es) next to the description(s) of selected insurance.)

[ ☐ ] **§ A.2.5.1 Cyber Security Insurance** for loss to the Owner due to data security and privacy breach, including costs of investigating a potential or actual breach of confidential or private information. (Indicate applicable limits of coverage or other conditions in the fill point below.)

☐ ☐

[ ☐ ] **§ A.2.5.2 Other Insurance**  
(List below any other insurance coverage to be provided by the Owner and any applicable limits.)

Coverage

Limits

## ARTICLE A.3 CONTRACTOR'S INSURANCE AND BONDS

### § A.3.1 General

**§ A.3.1.1 Certificates of Insurance.** The Contractor shall provide certificates of insurance acceptable to the Owner evidencing compliance with the requirements in this Article A.3 at the following times: (1) prior to commencement of the Work; (2) upon renewal or replacement of each required policy of insurance; and (3) upon the Owner's written request. An additional certificate evidencing continuation of commercial liability coverage, including coverage for completed operations, shall be submitted with the final Application for Payment and thereafter upon renewal or replacement of such coverage until the expiration of the periods required by Section A.3.2.1 and Section A.3.3.1. The certificates will show the Owner as an additional insured on the Contractor's Commercial General Liability and excess or umbrella liability policy or policies.

**§ A.3.1.2 Deductibles and Self-Insured Retentions.** The Contractor shall disclose to the Owner any deductible or self-insured retentions applicable to any insurance required to be provided by the Contractor.

**§ A.3.1.3 Additional Insured Obligations.** To the fullest extent permitted by law, the Contractor shall cause the commercial general liability coverage to include (1) the Owner, the Architect, and the Architect's consultants as additional insureds for claims caused in whole or in part by the Contractor's negligent acts or omissions during the Contractor's operations; and (2) the Owner as an additional insured for claims caused in whole or in part by the Contractor's negligent acts or omissions for which loss occurs during completed operations. The additional insured coverage shall be primary and non-contributory to any of the Owner's general liability insurance policies and shall apply to both ongoing and completed operations. To the extent commercially available, the additional insured coverage shall be no less than that provided by Insurance Services Office, Inc. (ISO) forms CG 20 10 07 04, CG 20 37 07 04, and, with respect to the Architect and the Architect's consultants, CG 20 32 07 04.

### § A.3.2 Contractor's Required Insurance Coverage

**§ A.3.2.1** The Contractor shall purchase and maintain the following types and limits of insurance from an insurance company or insurance companies lawfully authorized to issue insurance in the jurisdiction where the Project is located. The Contractor shall maintain the required insurance until the expiration of the period for correction of Work as set forth in Section 12.2.2 of the General Conditions, unless a different duration is stated below:

(If the Contractor is required to maintain insurance for a duration other than the expiration of the period for correction of Work, state the duration.)

☐ ☐

### § A.3.2.2 Commercial General Liability

**§ A.3.2.2.1** Commercial General Liability insurance for the Project written on an occurrence form with policy limits of not less than  (\$  ) each occurrence,  (\$  ) general aggregate, and  (\$  ) aggregate for products-completed operations hazard, providing coverage for claims including

- .1 damages because of bodily injury, sickness or disease, including occupational sickness or disease, and death of any person;

- .2 personal injury and advertising injury;
- .3 damages because of physical damage to or destruction of tangible property, including the loss of use of such property;
- .4 bodily injury or property damage arising out of completed operations; and
- .5 the Contractor's indemnity obligations under Section 3.18 of the General Conditions.

**§ A.3.2.2.2** The Contractor's Commercial General Liability policy under this Section A.3.2.2 shall not contain an exclusion or restriction of coverage for the following:

- .1 Claims by one insured against another insured, if the exclusion or restriction is based solely on the fact that the claimant is an insured, and there would otherwise be coverage for the claim.
- .2 Claims for property damage to the Contractor's Work arising out of the products-completed operations hazard where the damaged Work or the Work out of which the damage arises was performed by a Subcontractor.
- .3 Claims for bodily injury other than to employees of the insured.
- .4 Claims for indemnity under Section 3.18 of the General Conditions arising out of injury to employees of the insured.
- .5 Claims or loss excluded under a prior work endorsement or other similar exclusionary language.
- .6 Claims or loss due to physical damage under a prior injury endorsement or similar exclusionary language.
- .7 Claims related to residential, multi-family, or other habitational projects, if the Work is to be performed on such a project.
- .8 Claims related to roofing, if the Work involves roofing.
- .9 Claims related to exterior insulation finish systems (EIFS), synthetic stucco or similar exterior coatings or surfaces, if the Work involves such coatings or surfaces.
- .10 Claims related to earth subsidence or movement, where the Work involves such hazards.
- .11 Claims related to explosion, collapse and underground hazards, where the Work involves such hazards.

**§ A.3.2.3** Automobile Liability covering vehicles owned, and non-owned vehicles used, by the Contractor, with policy limits of not less than « one million dollars » (\$ «1,000,000» ) per accident, for bodily injury, death of any person, and property damage arising out of the ownership, maintenance and use of those motor vehicles along with any other statutorily required automobile coverage.

**§ A.3.2.4** The Contractor may achieve the required limits and coverage for Commercial General Liability and Automobile Liability through a combination of primary and excess or umbrella liability insurance, provided such primary and excess or umbrella insurance policies result in the same or greater coverage as the coverages required under Section A.3.2.2 and A.3.2.3, and in no event shall any excess or umbrella liability insurance provide narrower coverage than the primary policy. The excess policy shall not require the exhaustion of the underlying limits only through the actual payment by the underlying insurers.

**§ A.3.2.5** Workers' Compensation at statutory limits.

**§ A.3.2.6** Employers' Liability with policy limits not less than « five hundred thousand dollars » (\$ «500,000» ) each accident, «five hundred thousand dollars » (\$ «500,000» ) each employee, and «five hundred thousand dollars» (\$ «500,000» ) policy limit.

**§ A.3.2.7** Jones Act, and the Longshore & Harbor Workers' Compensation Act, as required, if the Work involves hazards arising from work on or near navigable waterways, including vessels and docks

**§ A.3.2.8** If the Contractor is required to furnish professional services as part of the Work, the Contractor shall procure Professional Liability insurance covering performance of the professional services, with policy limits of not less than «not applicable » (\$ «N/A » ) per claim and «not applicable » (\$ «N/A » ) in the aggregate.

**§ A.3.2.9** If the Work involves the transport, dissemination, use, or release of pollutants, the Contractor shall procure Pollution Liability insurance, with policy limits of not less than «not applicable » (\$ «N/A» ) per claim and «not applicable » (\$ «N/A » ) in the aggregate.



**§ A.3.2.10** Coverage under Sections A.3.2.8 and A.3.2.9 may be procured through a Combined Professional Liability and Pollution Liability insurance policy, with combined policy limits of not less than «not applicable» (\$ «N/A» ) per claim and «not applicable» (\$ «N/A» ) in the aggregate.

**§ A.3.2.11** Insurance for maritime liability risks associated with the operation of a vessel, if the Work requires such activities, with policy limits of not less than «not applicable» (\$ «N/A» ) per claim and «not applicable» (\$ «N/A» ) in the aggregate.

**§ A.3.2.12** Insurance for the use or operation of manned or unmanned aircraft, if the Work requires such activities, with policy limits of not less than one million dollars (\$ 1,000,000 ) per claim and «two million dollars» (\$ «2,000,000» ) in the aggregate.

### **§ A.3.3 Contractor's Other Insurance Coverage**

**§ A.3.3.1** Insurance selected and described in this Section A.3.3 shall be purchased from an insurance company or insurance companies lawfully authorized to issue insurance in the jurisdiction where the Project is located. The Contractor shall maintain the required insurance until the expiration of the period for correction of Work as set forth in Section 12.2.2 of the General Conditions, unless a different duration is stated below:

*(If the Contractor is required to maintain any of the types of insurance selected below for a duration other than the expiration of the period for correction of Work, state the duration.)*

« »

**§ A.3.3.2** The Contractor shall purchase and maintain the following types and limits of insurance in accordance with Section A.3.3.1.

*(Select the types of insurance the Contractor is required to purchase and maintain by placing an X in the box(es) next to the description(s) of selected insurance. Where policy limits are provided, include the policy limit in the appropriate fill point.)*

- [ « » ] **§ A.3.3.2.1** Property insurance of the same type and scope satisfying the requirements identified in Section A.2.3, which, if selected in this section A.3.3.2.1, relieves the Owner of the responsibility to purchase and maintain such insurance except insurance required by Section A.2.3.1.3 and Section A.2.3.3. The Contractor shall comply with all obligations of the Owner under Section A.2.3 except to the extent provided below. The Contractor shall disclose to the Owner the amount of any deductible, and the Owner shall be responsible for losses within the deductible. Upon request, the Contractor shall provide the Owner with a copy of the property insurance policy or policies required. The Owner shall adjust and settle the loss with the insurer and be the trustee of the proceeds of the property insurance in accordance with Article 11 of the General Conditions unless otherwise set forth below:
- (Where the Contractor's obligation to provide property insurance differs from the Owner's obligations as described under Section A.2.3, indicate such differences in the space below. Additionally, if a party other than the Owner will be responsible for adjusting and settling a loss with the insurer and acting as the trustee of the proceeds of property insurance in accordance with Article 11 of the General Conditions, indicate the responsible party below.)*

« »

- [ « » ] **§ A.3.3.2.2 Railroad Protective Liability Insurance**, with policy limits of not less than « » (\$ « » ) per claim and « » (\$ « » ) in the aggregate, for Work within fifty (50) feet of railroad property.

- [ « » ] **§ A.3.3.2.3 Asbestos Abatement Liability Insurance**, with policy limits of not less than « » (\$ « » ) per claim and « » (\$ « » ) in the aggregate, for liability arising from the encapsulation, removal, handling, storage, transportation, and disposal of asbestos-containing materials.

- [ « » ] **§ A.3.3.2.4** Insurance for physical damage to property while it is in storage and in transit to the construction site on an "all-risks" completed value form.

[ « » ] **§ A.3.3.2.5** Property insurance on an “all-risks” completed value form, covering property owned by the Contractor and used on the Project, including scaffolding and other equipment.

[ « » ] **§ A.3.3.2.6 Other Insurance**  
(List below any other insurance coverage to be provided by the Contractor and any applicable limits.)

Coverage	Limits
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#### § A.3.4 Performance Bond and Payment Bond

The Contractor shall provide surety bonds, from a company or companies lawfully authorized to issue surety bonds in the jurisdiction where the Project is located, as follows:

(Specify type and penal sum of bonds.)

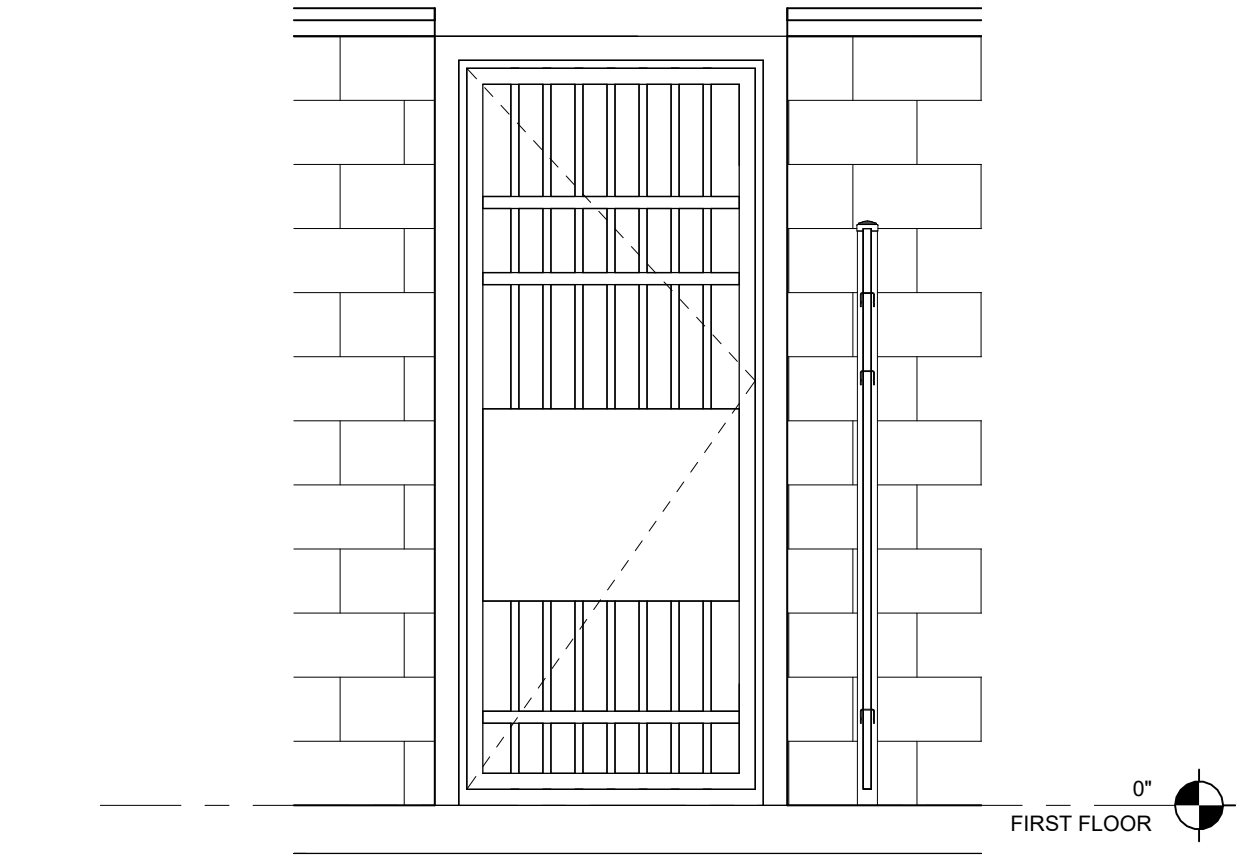
Type	Penal Sum (\$0.00)
Payment Bond	100% contract amount
Performance Bond	100% contract amount

Payment and Performance Bonds shall be AIA Document A312™, Payment Bond and Performance Bond, or contain provisions identical to AIA Document A312™, current as of the date of this Agreement.

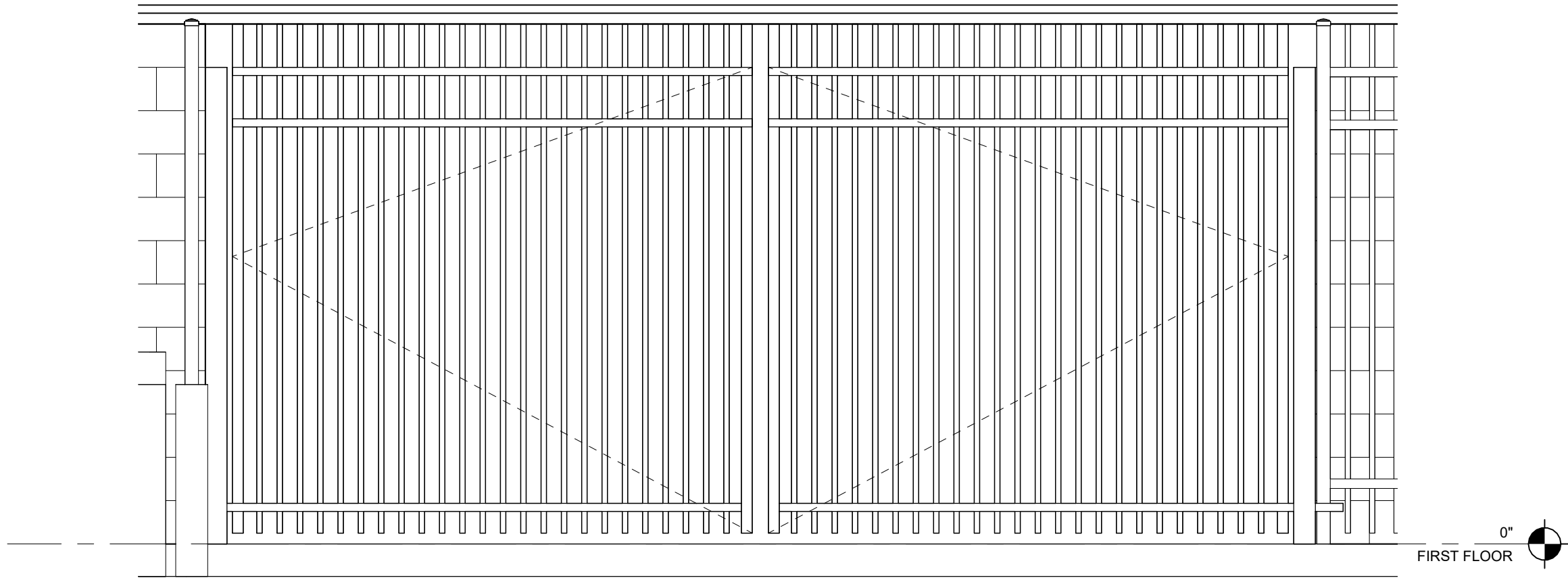
#### ARTICLE A.4 SPECIAL TERMS AND CONDITIONS

Special terms and conditions that modify this Insurance and Bonds Exhibit, if any, are as follows:

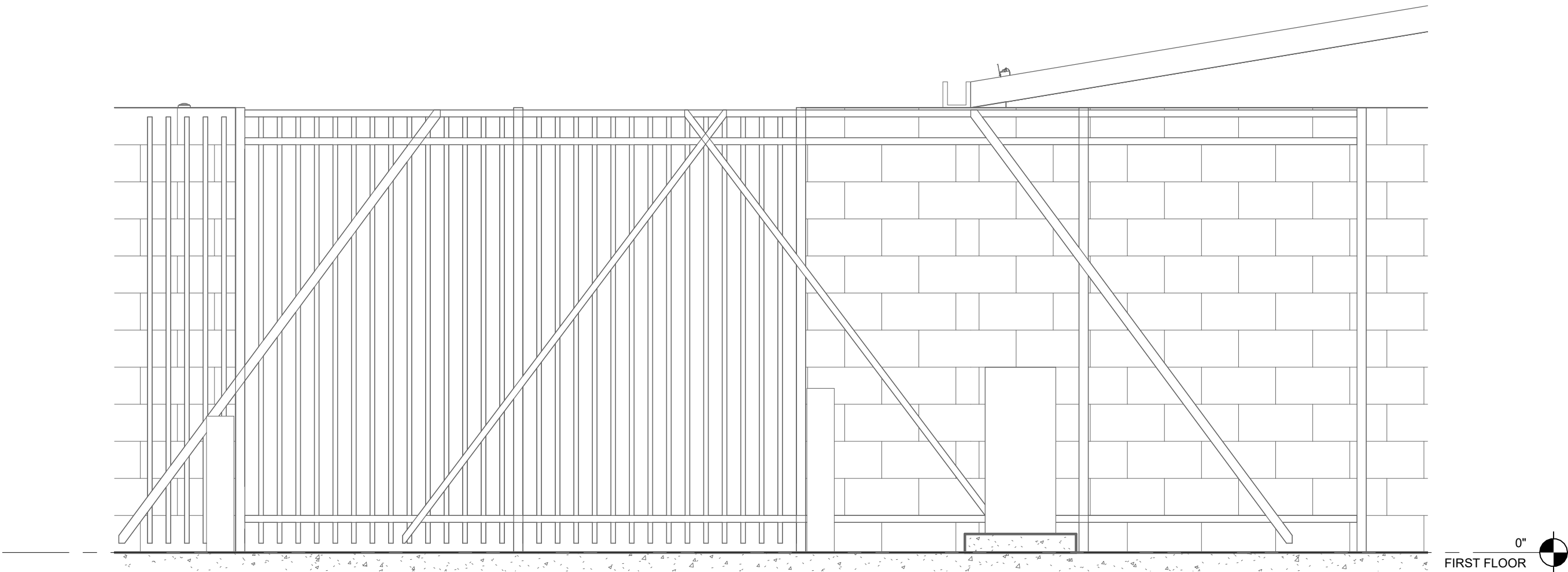
« »



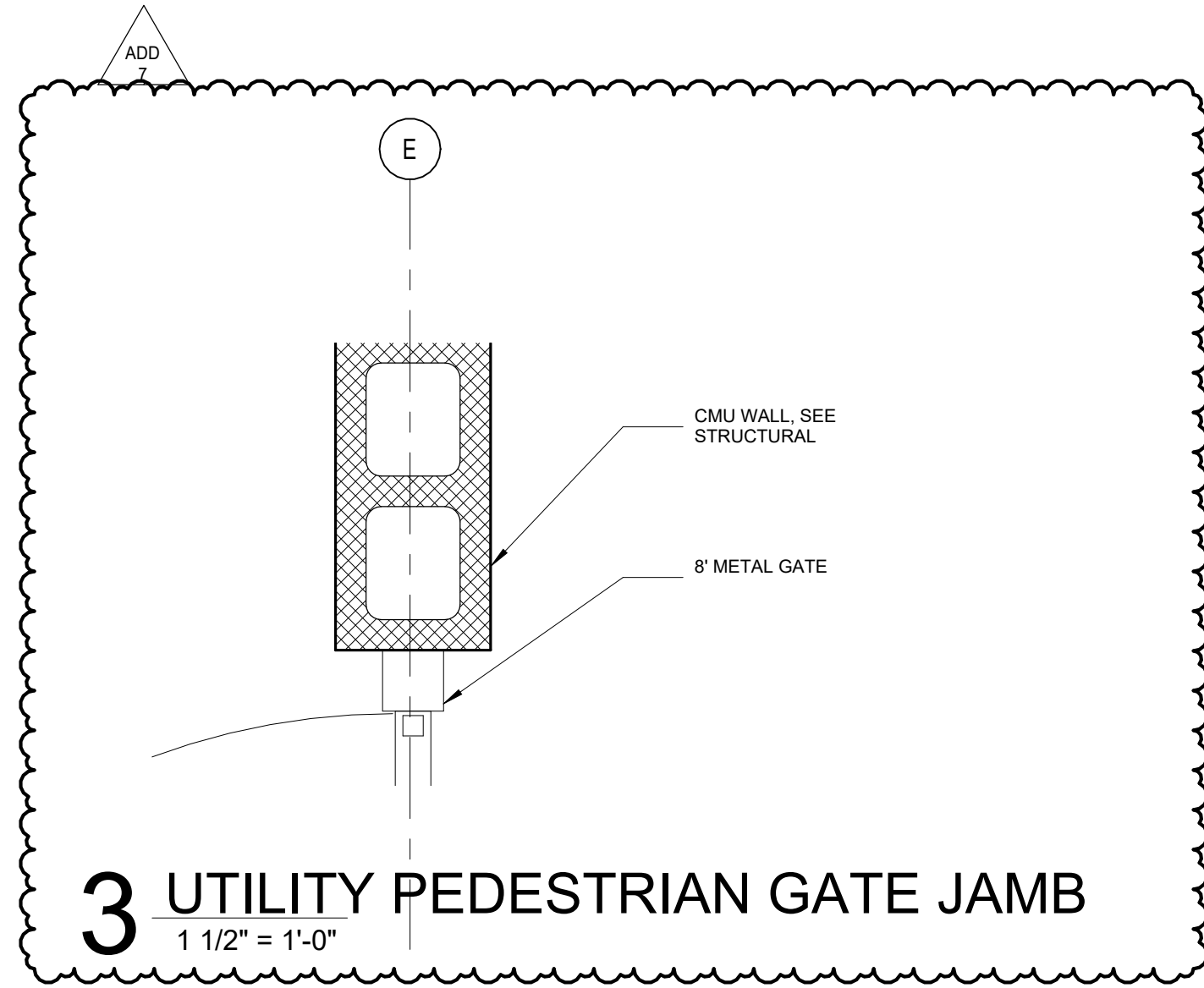
6 UTILITY PEDESTRIAN GATE  
1/2" = 1'-0"



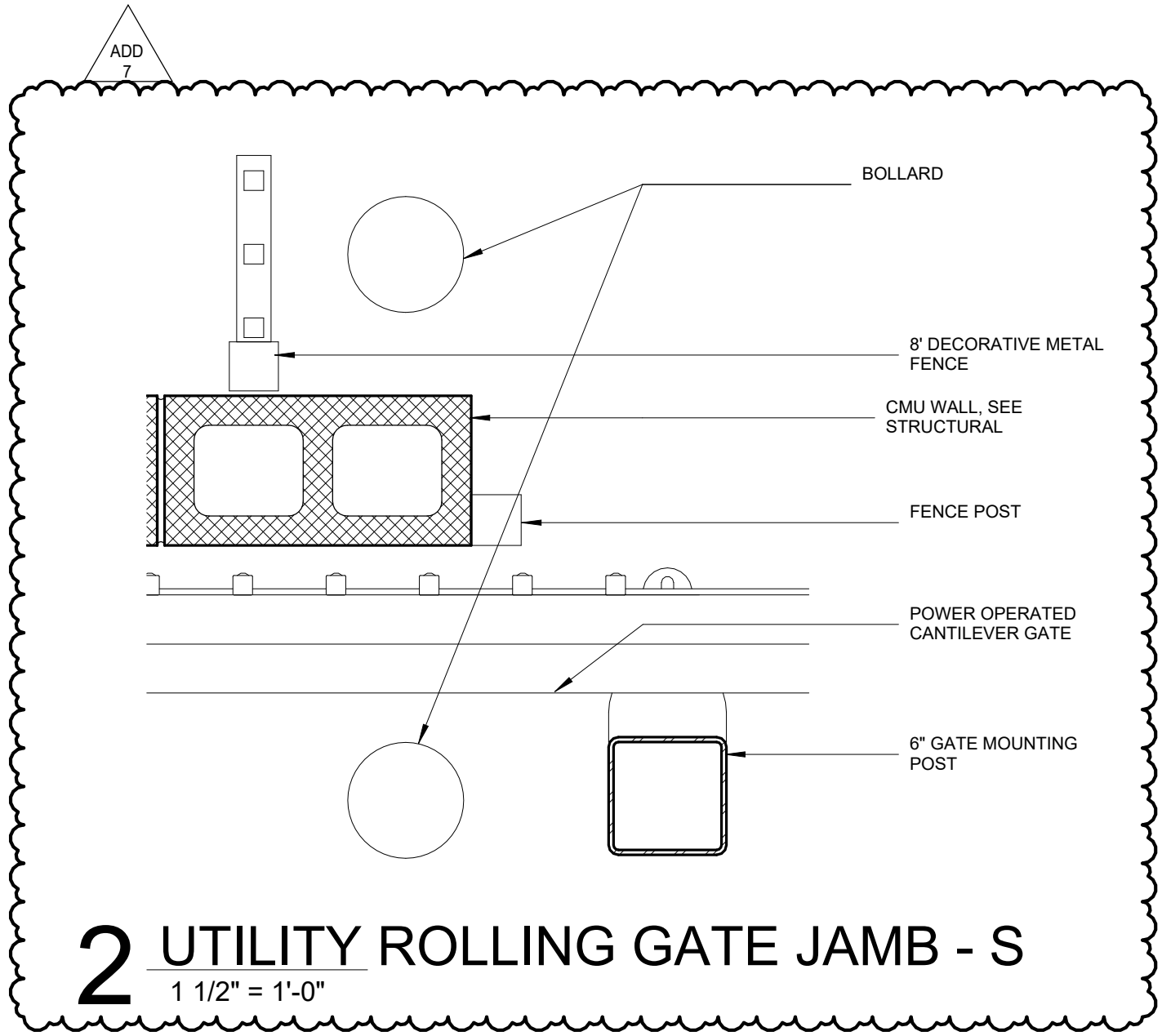
5 TRASH ENCLOSURE GATE  
1/2" = 1'-0"



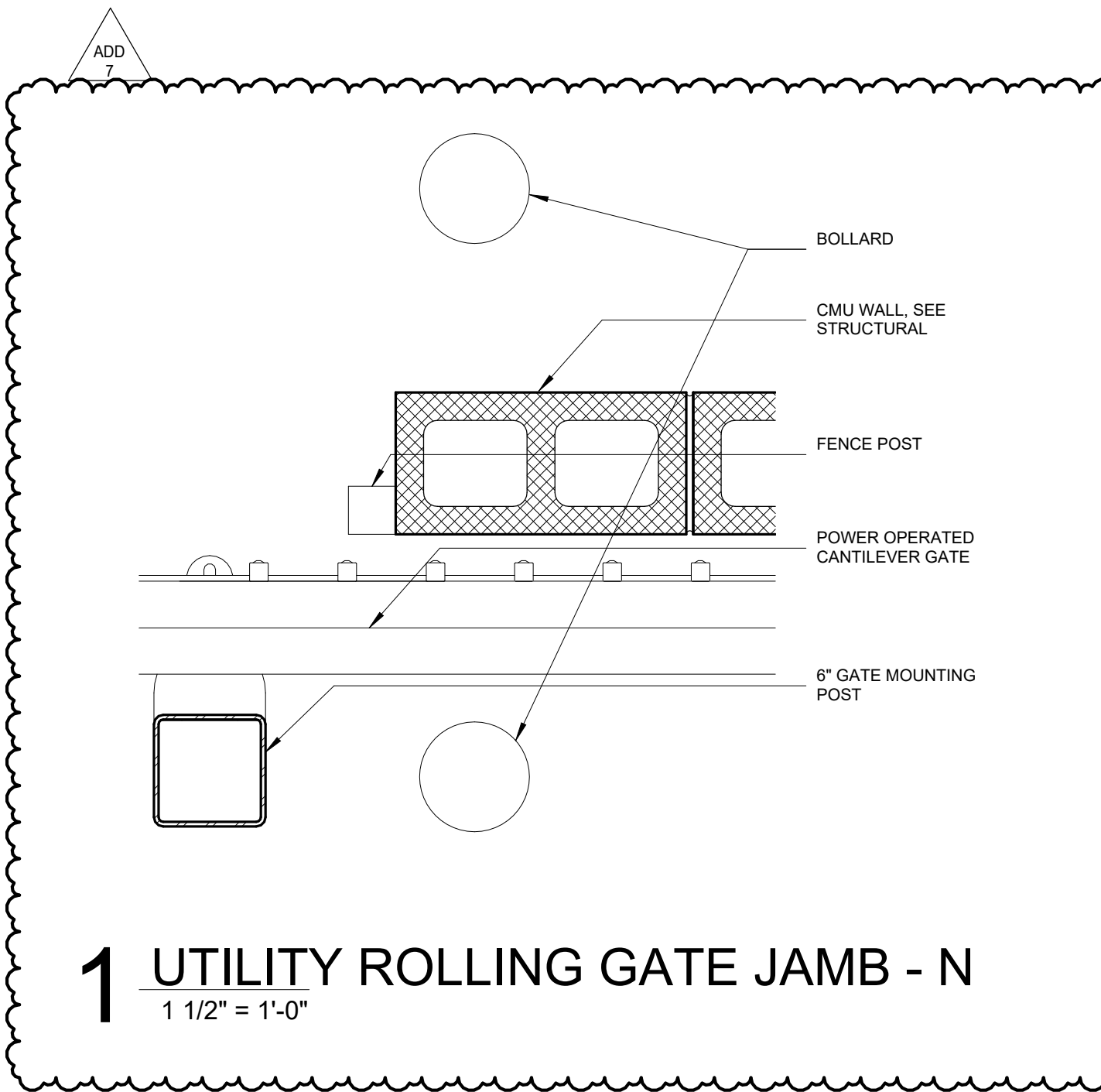
4 UTILITY ENLARGED ELEVATION - GATE - E  
1/2" = 1'-0"



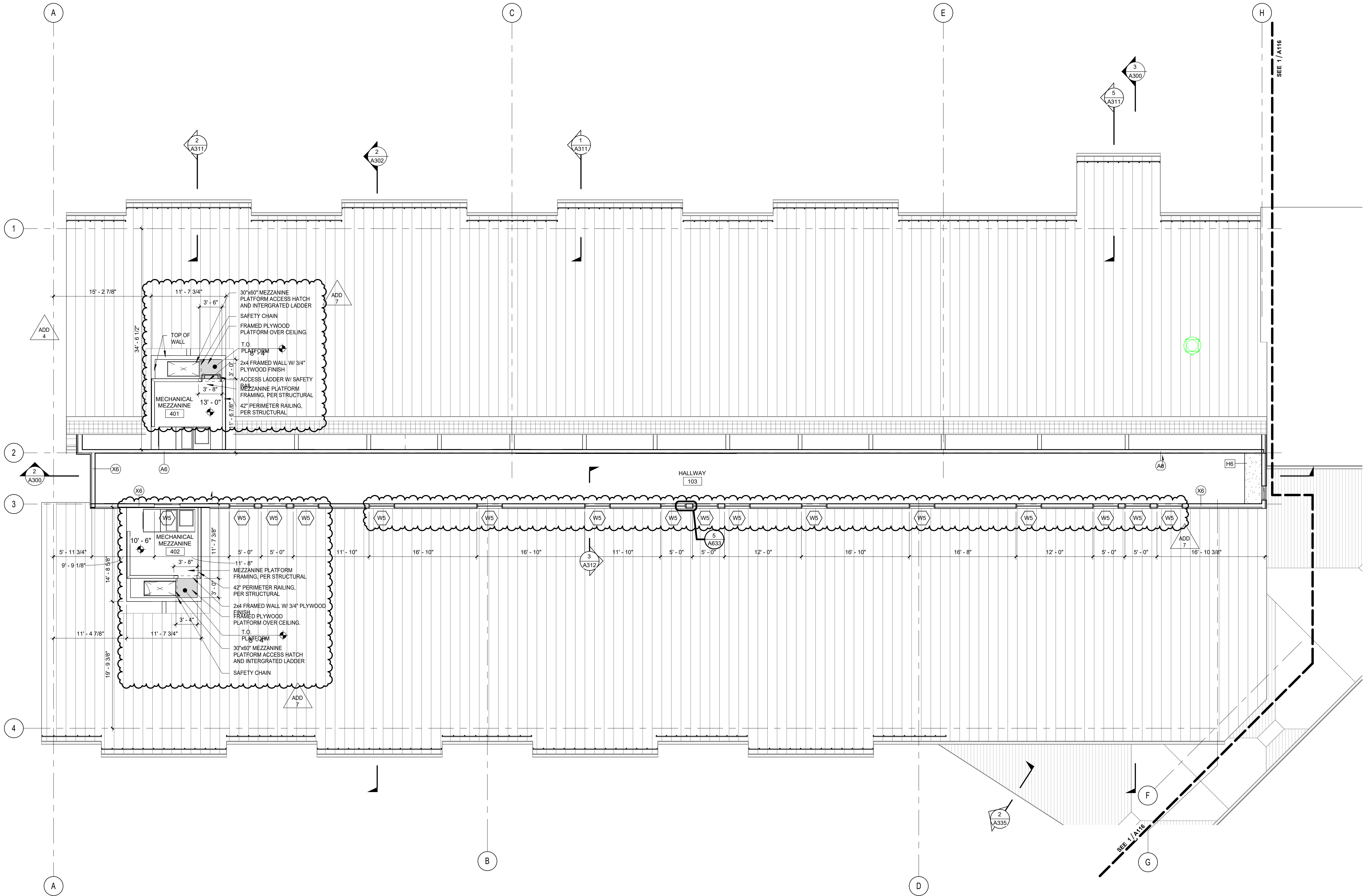
3 UTILITY PEDESTRIAN GATE JAMB  
1 1/2" = 1'-0"



2 UTILITY ROLLING GATE JAMB - S  
1 1/2" = 1'-0"



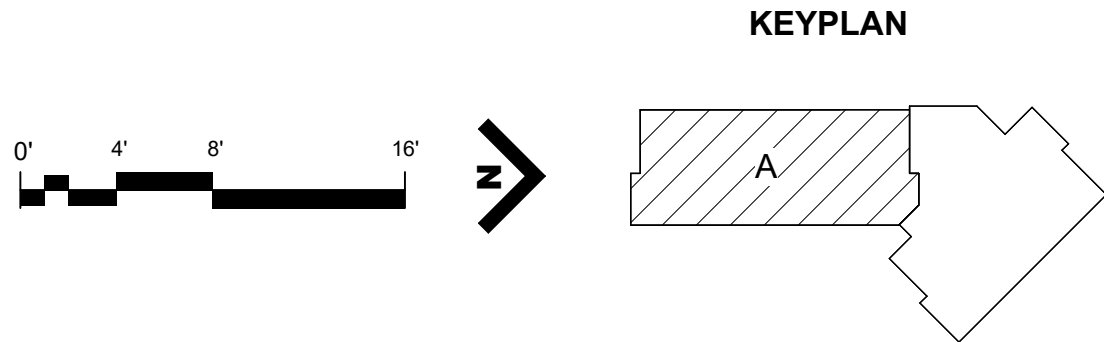
1 UTILITY ROLLING GATE JAMB - N  
1 1/2" = 1'-0"



1 FLOOR PLAN - CLERESTORY - SECTOR A

1/8" = 1'-0"

➤



BID AND PERMIT SET

KLAMATH COMMUNITY COLLEGE  
CHILDCARE LEARNING CENTER

PROJECT #: 2331.00  
KLAMATH COMMUNITY COLLEGE  
7390 S. 6TH ST. KLAMATH FALLS, OR 97603

SHEET TITLE:

CLERESTORY  
PLAN -  
SECTOR A

REVISIONS:		
#	DESCRP.	DATE
1	ADD 4	08.29.2025
4	ADD 7	09.17.2025

ISSUE DATE: 08/01/2025

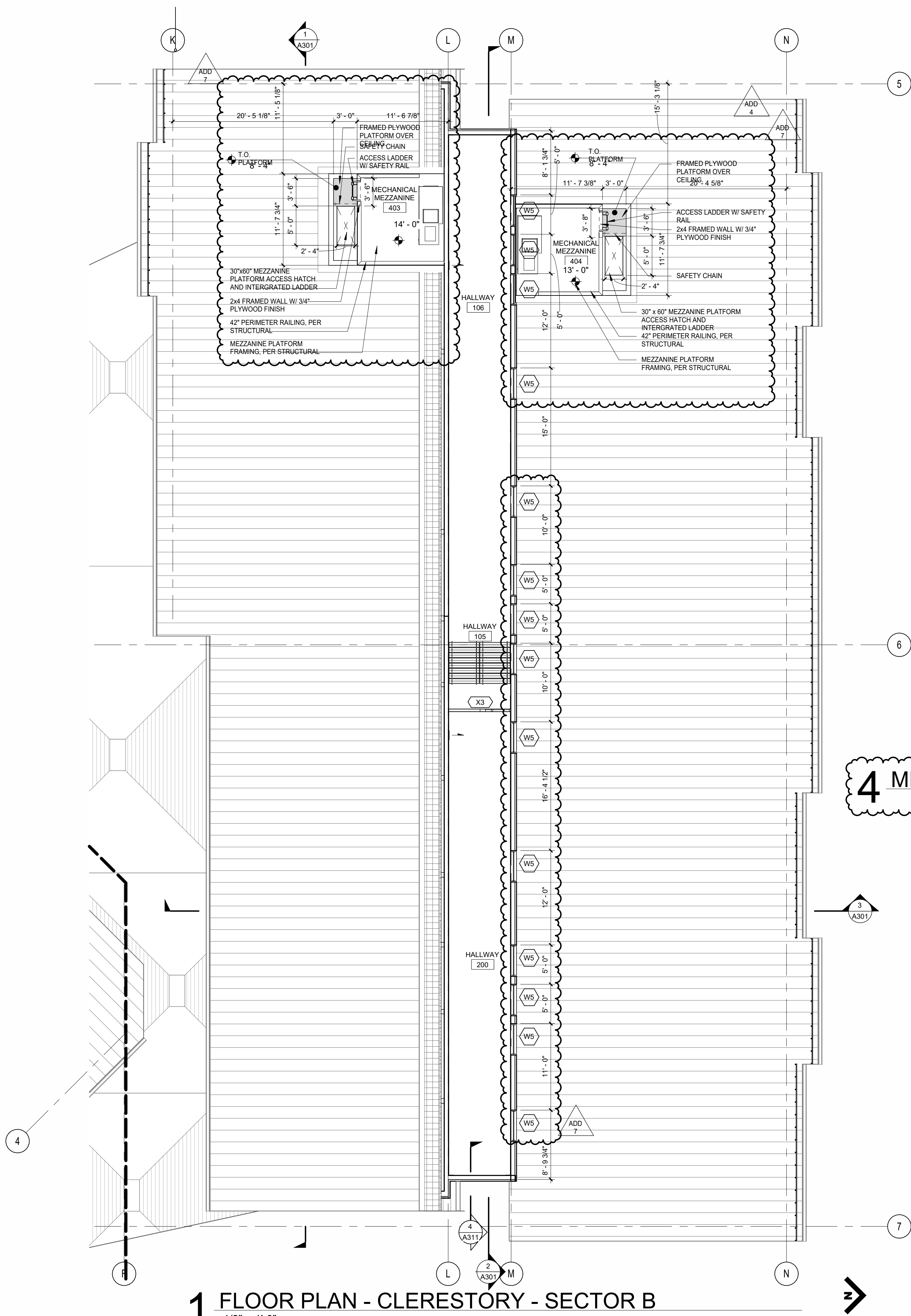
A115



PIVOT

ARCHITECTURE



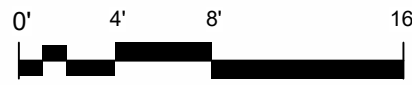


5 MECH. MEZZ. 404 - SECTOR B - 13'-0"

4 MECH. MEZZ. 403 - SECTOR A - 14'-0"

3 MECH. MEZZ. 402 - SECTOR B - 13'-0"

2 MEZZANINE PLATFORM 10'-6"



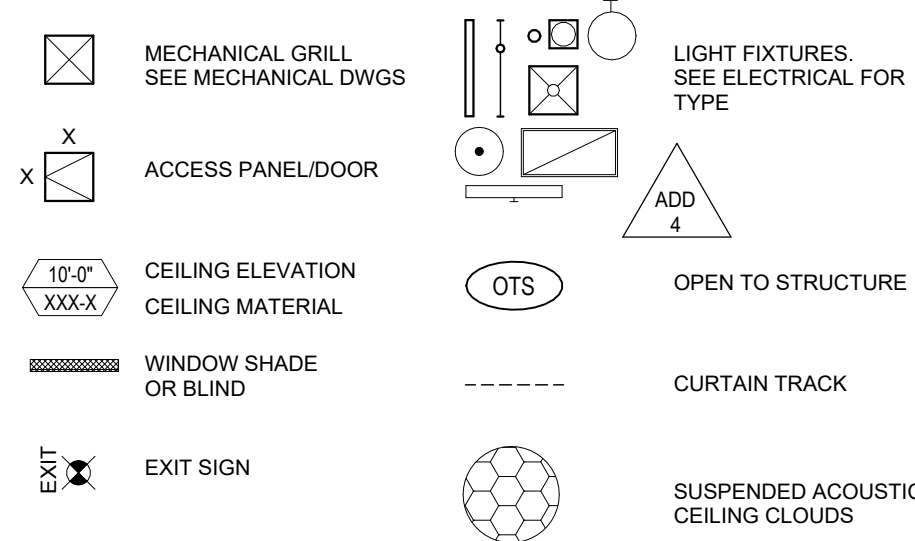
KEYPLAN

REVISIONS:		
#	DESCRP.	DATE
1	ADD 4	08.29.2025
4	ADD 7	09.17.2025

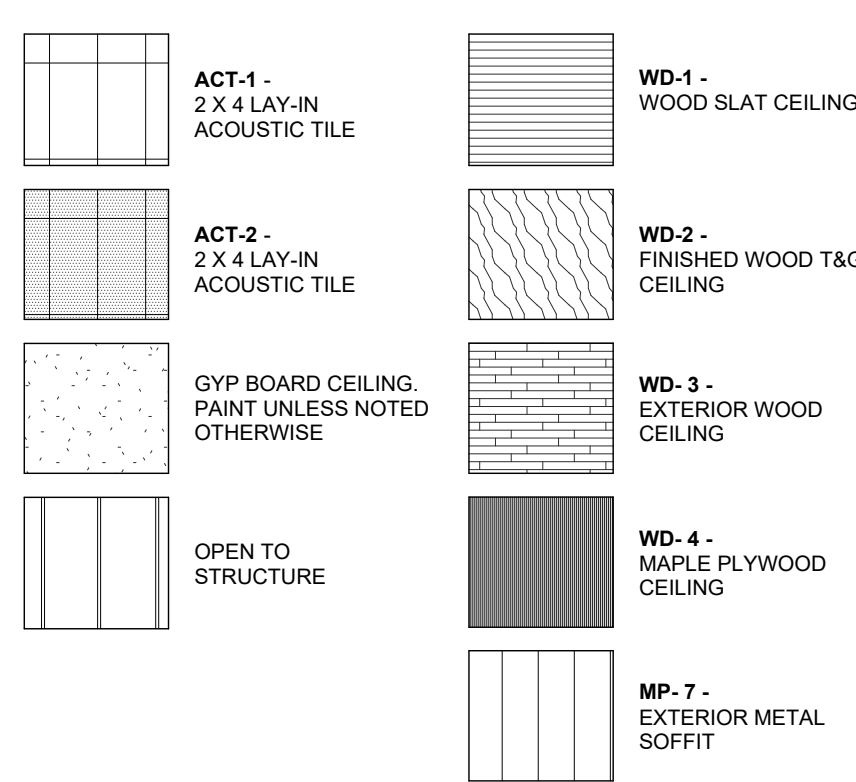
SHEET TITLE:	
CLERESTORY PLAN - SECTOR B	
ISSUE DATE: 08/01/2025	



CEILING SYMBOLS

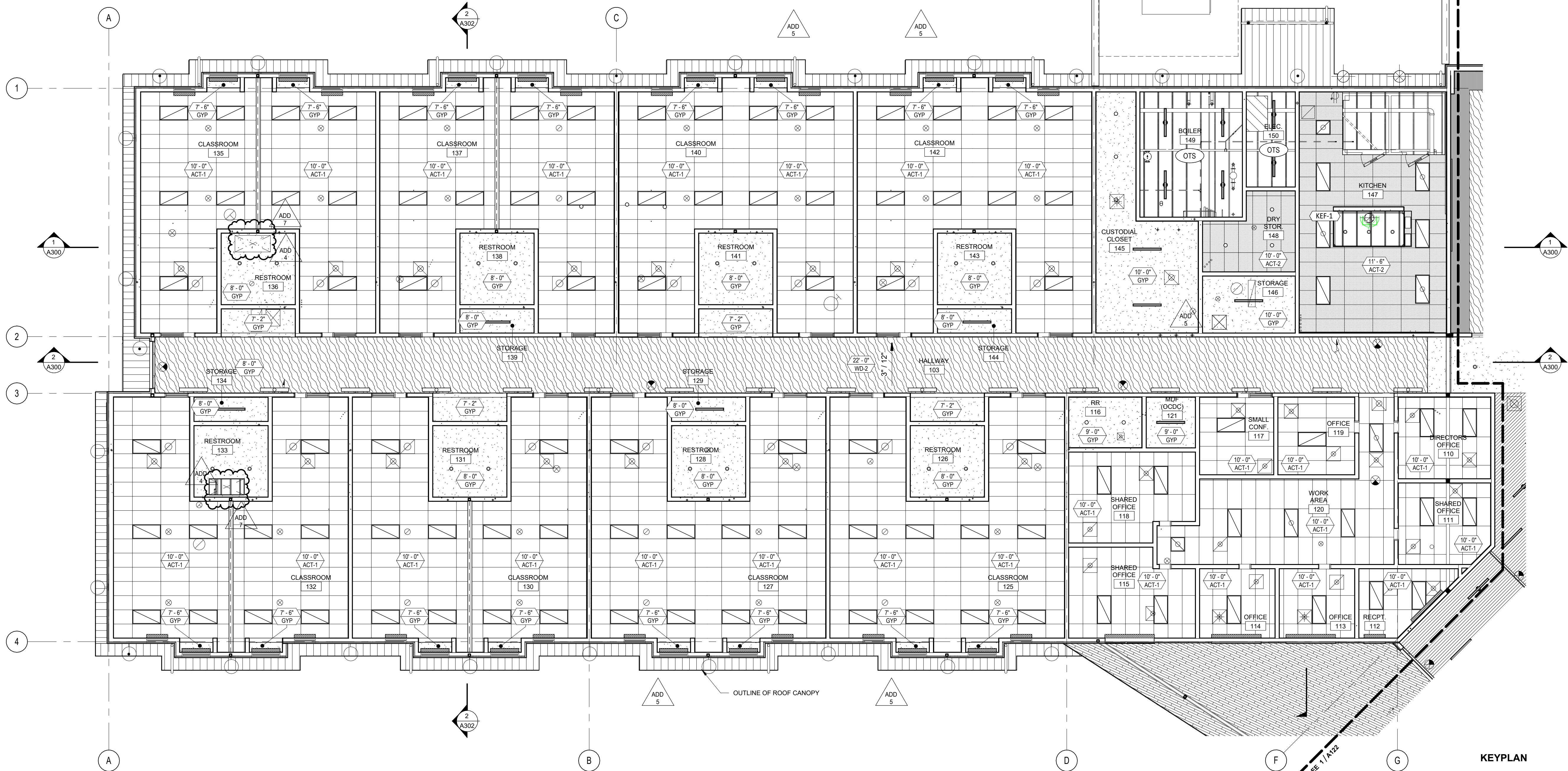


CEILING MATERIAL LEGEND



GENERAL NOTES - REFLECTED CEILING PLAN

- SEE MECHANICAL ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL CEILING INFORMATION
- ALL CEILING HEIGHTS SHOWN ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE
- ALL DIMENSIONS FROM FACE OF STUD OR MASONRY WALL UNLESS NOTED OTHERWISE
- PAINT INTERIOR OF ALL EXPOSED METAL DECK AND ROOF FRAMING UNLESS OTHERWISE NOTED
- SLOPED CEILING SURFACES SHOWN IN PLAN VIEW WILL APPEAR LESS THAN TRUE LENGTH. SEE SECTIONS AND DETAILS FOR ACTUAL DIMENSIONS.

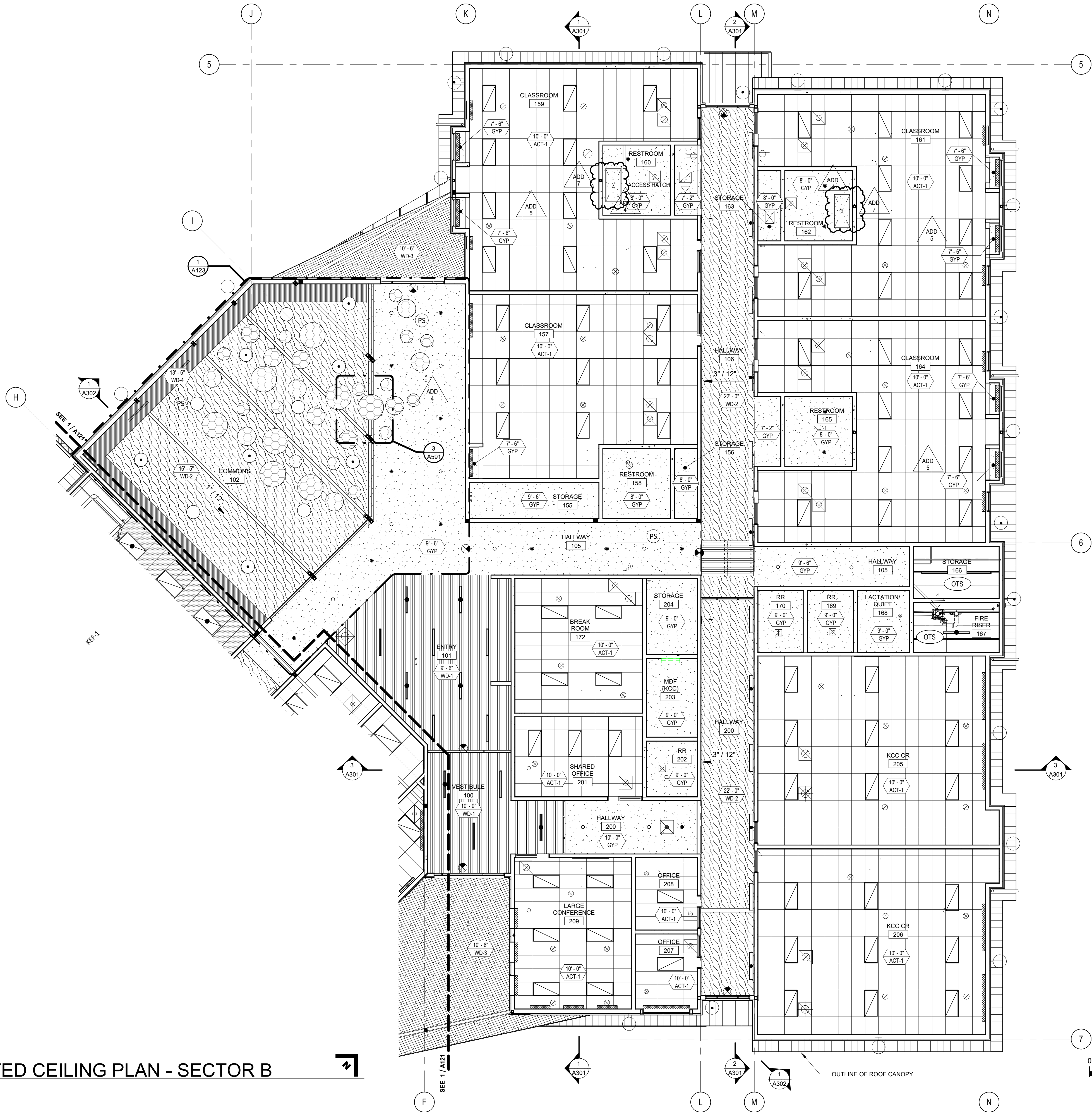


1 REFLECTED CEILING PLAN - SECTOR A  
1/8" = 1'-0"



1 REFLECTED CEILING PLAN - SECTOR B

1/8" = 1'-0"



GENERAL NOTES - REFLECTED CEILING PLAN

- A. SEE MECHANICAL ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL CEILING INFORMATION
- B. ALL CEILING HEIGHTS SHOWN ARE FROM FINISHED FLOOR UNLESS NOTED OTHERWISE
- C. ALL DIMENSIONS FROM FACE OF STUD OR MASONRY WALL UNLESS NOTED OTHERWISE
- D. PAINT INTERIOR OF ALL EXPOSED METAL DECK AND ROOF FRAMING UNLESS OTHERWISE NOTED
- E. SLOPED CEILING SURFACES SHOWN IN PLAN VIEW WILL APPEAR LESS THAN TRUE LENGTH. SEE SECTIONS AND DETAILS FOR ACTUAL DIMENSIONS.

SPECIFICATION KEYNOTE

KEYNOTES

CEILING MATERIAL LEGEND

	ACT-1 - 2 X 4 LAY-IN ACOUSTIC TILE		WD-1 - WOOD SLAT CEILING
	ACT-2 - 2 X 4 LAY-IN ACOUSTIC TILE		WD-2 - FINISHED WOOD T&G CEILING
	GYP BOARD CEILING. PAINT UNLESS NOTED OTHERWISE		WD-3 - EXTERIOR WOOD CEILING
	OPEN TO STRUCTURE		WD-4 - MAPLE PLYWOOD CEILING
			MP-7 - EXTERIOR METAL SOFFIT

CEILING SYMBOLS

	MECHANICAL GRILL SEE MECHANICAL DWGS		LIGHT FIXTURES. SEE ELECTRICAL FOR TYPE
	ACCESS PANEL/DOOR		ADD 4
	CEILING ELEVATION CEILING MATERIAL		OTS - OPEN TO STRUCTURE
	WINDOW SHADE OR BLIND		CURTAIN TRACK
	EXIT SIGN		SUSPENDED ACOUSTIC CEILING CLOUDS

KEYPLAN

BID AND PERMIT SET

KLAMATH COMMUNITY COLLEGE  
CHILDCARE LEARNING CENTER

PROJECT # 2331.00  
KLAMATH COMMUNITY COLLEGE  
7390 S. 6TH ST. KLAMATH FALLS, OR 97603

SHEET TITLE:  
REFLECTED  
CEILING PLAN  
- SECTOR B

#	DESCRP.	DATE
1	ADD 4	08.29.2025
2	ADD 5	09.04.2025
4	ADD 7	09.17.2025

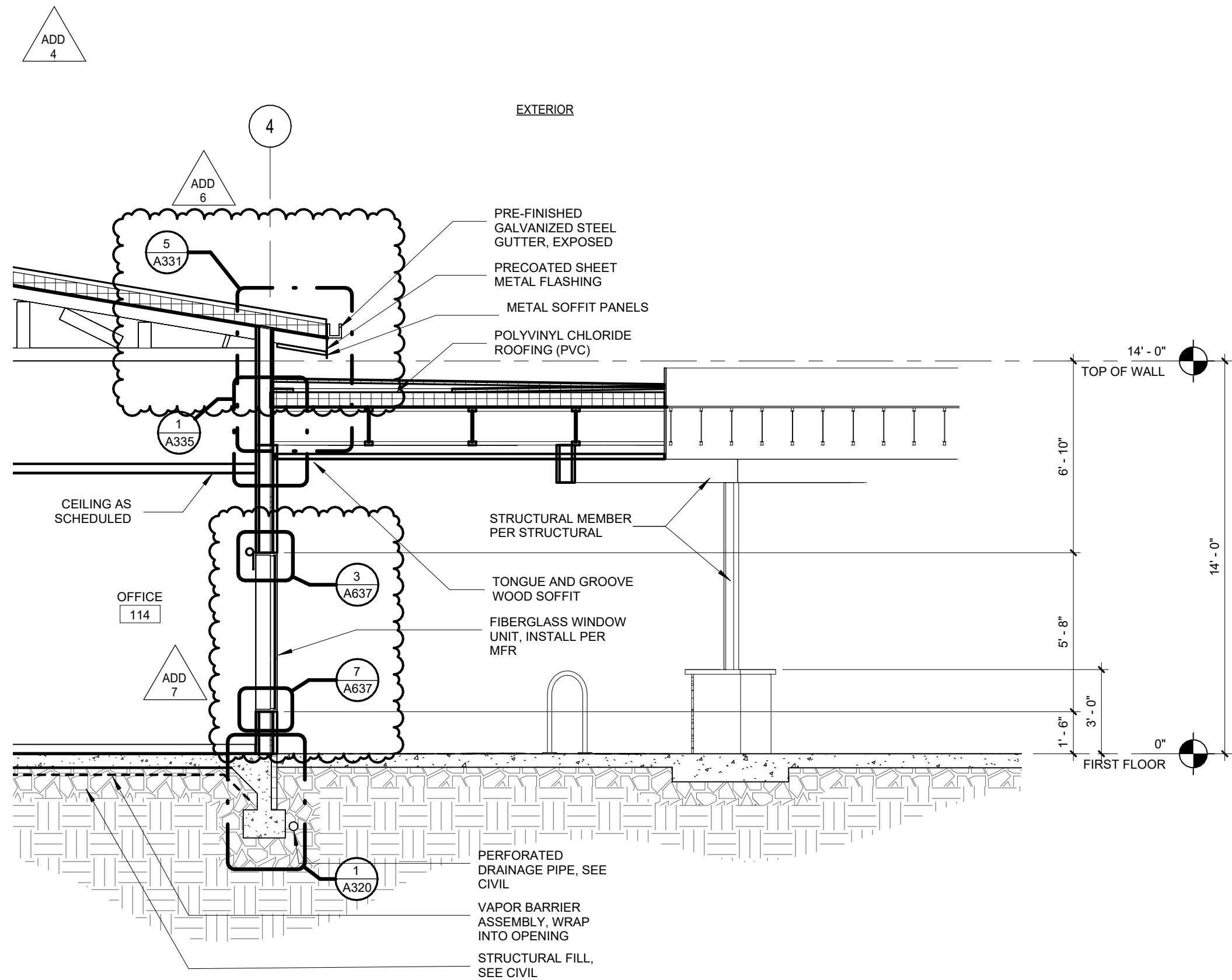
ISSUE DATE: 08/01/2025



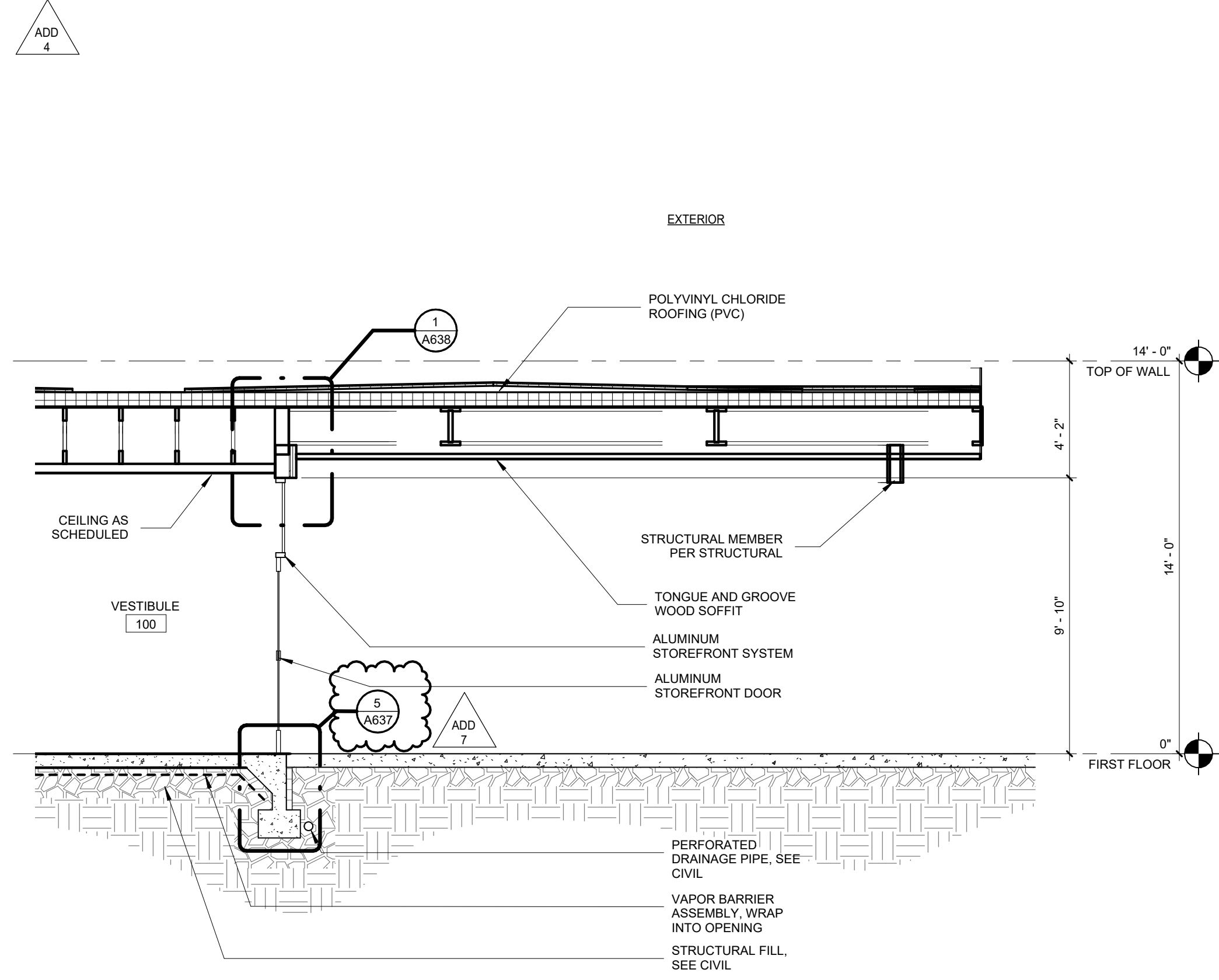
EXTERIOR FINISH AND MATERIALS LEGEND					
ABBV.	DESCRIPTION	ABBV.	DESCRIPTION		
MP-1	METAL PANEL (V)	MP-6	METAL PANEL (FLAT)	SV-1	STONE VENEER
	SPECIFICATION: 07 4213 METAL WALL PANELS TYPE: PRE-FINISHED METAL PANEL PROFILE: CASCADE 9 COLOR: ZINC GREY _SRI-40 INSTALLATION: VERTICAL		SPECIFICATION: 07 4213 METAL WALL PANELS TYPE: PRE-FINISHED METAL PANEL PROFILE: DOUBLE V-GROOVE (LIFETIME SOFFIT) COLOR: MATTE BLACK _SRI-23 INSTALLATION: VERTICAL		SPECIFICATION: 04 4313 STONE MASONRY VENEER TYPE: STONE VENEER STYLE: LEDGE COLOR: JUNEAU INSTALLATION: HORIZONTAL
MP-2	METAL PANEL (2X2)	MP-7	METAL PANEL (SOFFIT)	PC-1	PIER CAP
	SPECIFICATION: 07 4213 METAL WALL PANELS TYPE: PRE-FINISHED METAL PANEL PROFILE: C-5 COLOR: ZINC GREY _SRI-40 INSTALLATION: PER ELEVATION		SPECIFICATION: 07 4293 METAL SOFFIT PANELS TYPE: PRE-FINISHED METAL SOFFIT PANEL PROFILE: VENTED (LIFETIME SOFFIT) COLOR: ZINC GREY _SRI-40		SPECIFICATION: 04 4313 STONE MASONRY VENEER TYPE: FLAT PIER CAP STYLE: CHISELED EDGE COLOR: TAN
MP-3	METAL PANEL (3X3)	FF-1	FASCIA FLASHING (BLACK)	CMU-1	CMU
	SPECIFICATION: 07 4213 METAL WALL PANELS TYPE: PRE-FINISHED METAL PANEL PROFILE: CT-3 (C8-A) COLOR: ZINC GREY _SRI-40 INSTALLATION: PER ELEVATION		SPECIFICATION: 07 6213 FABRICATED COPINGS TYPE: PRE-FINISHED METAL FLASHING PROFILE: BENT METAL COLOR: MATTE BLACK _SRI-23		SPECIFICATION: 04 2223 ARCHITECTURAL CONCRETE UNIT MASONRY TYPE: CONCRETE MASONRY UNIT 8"x8"x16" STYLE: HORIZONTAL STACKED COLOR: LIGHT GREY
MP-4	METAL PANEL (6X6)	FF-2	FASCIA FLASHING (GREY)	HPC-1	HIGH-PROFORMANCE COATING (RED)
	SPECIFICATION: 07 4213 METAL WALL PANELS TYPE: PRE-FINISHED METAL PANEL PROFILE: CT-4 (CR-A) COLOR: ZINC GREY _SRI-40 INSTALLATION: VERTICAL		SPECIFICATION: 07 4213 FABRICATED COPINGS TYPE: PRE-FINISHED METAL PANEL PROFILE: DOUBLE V-GROOVE (LIFETIME SOFFIT) COLOR: CHARCOAL GREY _SRI-25 INSTALLATION: VERTICAL		SPECIFICATION: 09 9600 HIGH - PERFORMANCE COATINGS COLOR: TO MATCH MP-5: TILE RED _SRI-35
MP-5	METAL PANEL (RED)	SS-1	STANDING SEAM METAL ROOF (GREY)	HPC-2	HIGH-PROFORMANCE COATING (GREY)
	SPECIFICATION: 07 4213 METAL WALL PANELS TYPE: PRE-FINISHED METAL PANEL PROFILE: DOUBLE V-GROOVE (LIFETIME SOFFIT) COLOR: TILE RED _SRI-35 INSTALLATION: VERTICAL		SPECIFICATION: 07 4113 METAL ROOF PANELS TYPE: STANDING SEAM METAL ROOF PANEL PROFILE: MS-200 COLOR: ZINC GREY _SRI-40		SPECIFICATION: 09 9600 HIGH - PERFORMANCE COATINGS COLOR: TO MATCH MP-1: ZINC GREY _SRI-40
				HPC-3	HIGH-PROFORMANCE COATING (BLACK)
					SPECIFICATION: 09 9600 HIGH - PERFORMANCE COATINGS COLOR: TO MATCH MP-6: MATTE BLACK _SRI-23



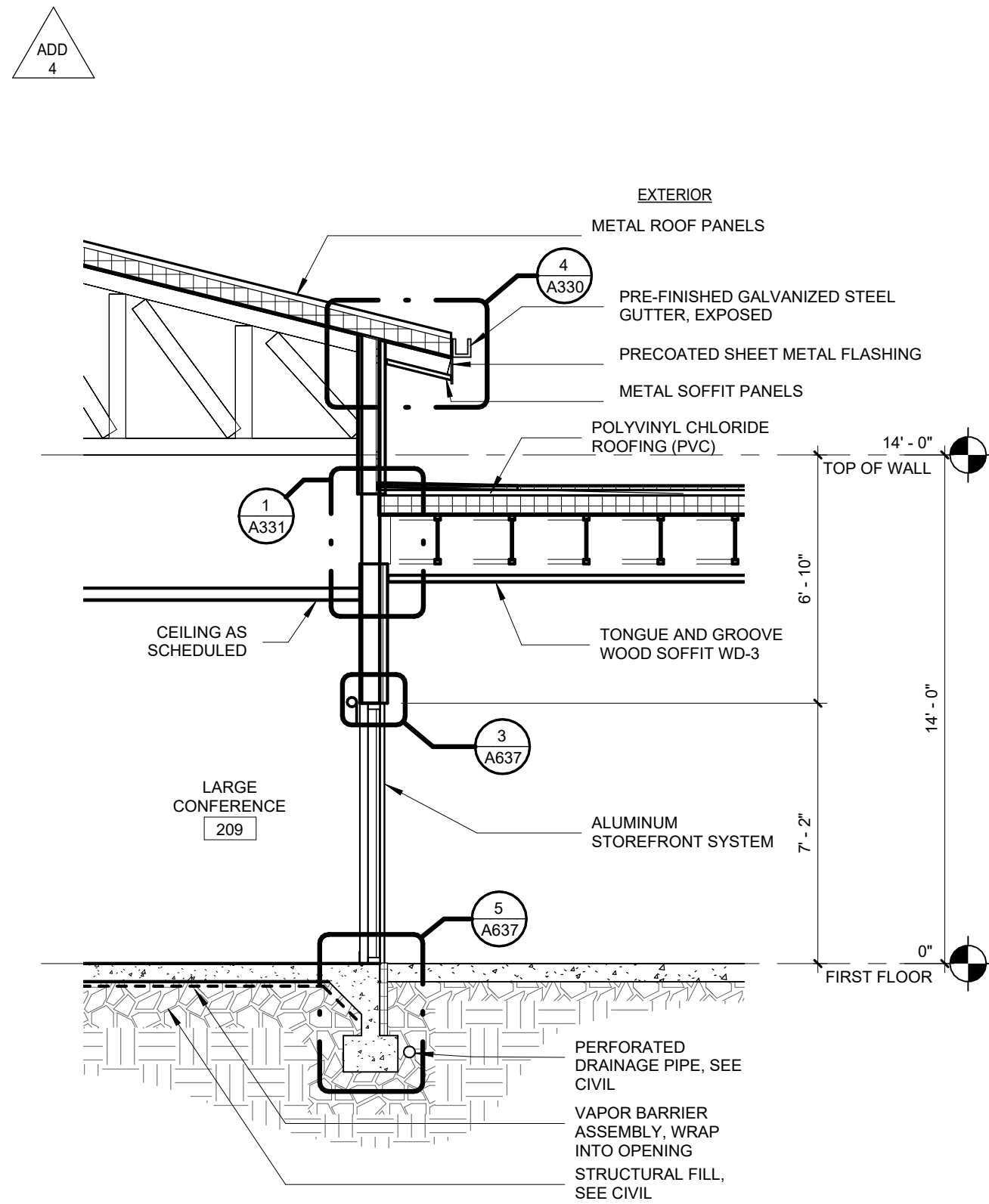




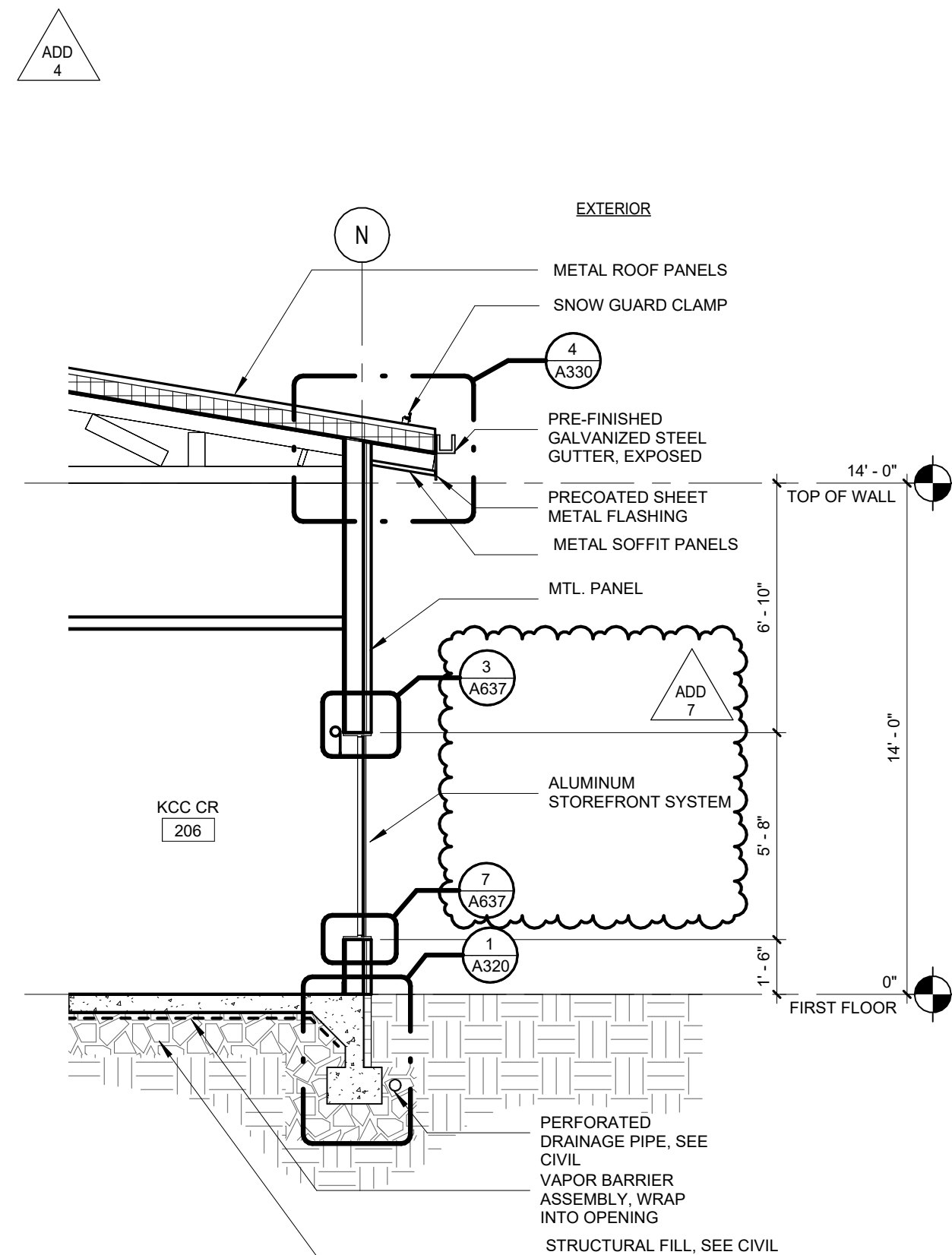
4 OFFICE @ CANOPY  
1/4" = 1'-0"



3 ENTRY VESTIBULE @ CANOPY  
1/4" = 1'-0"

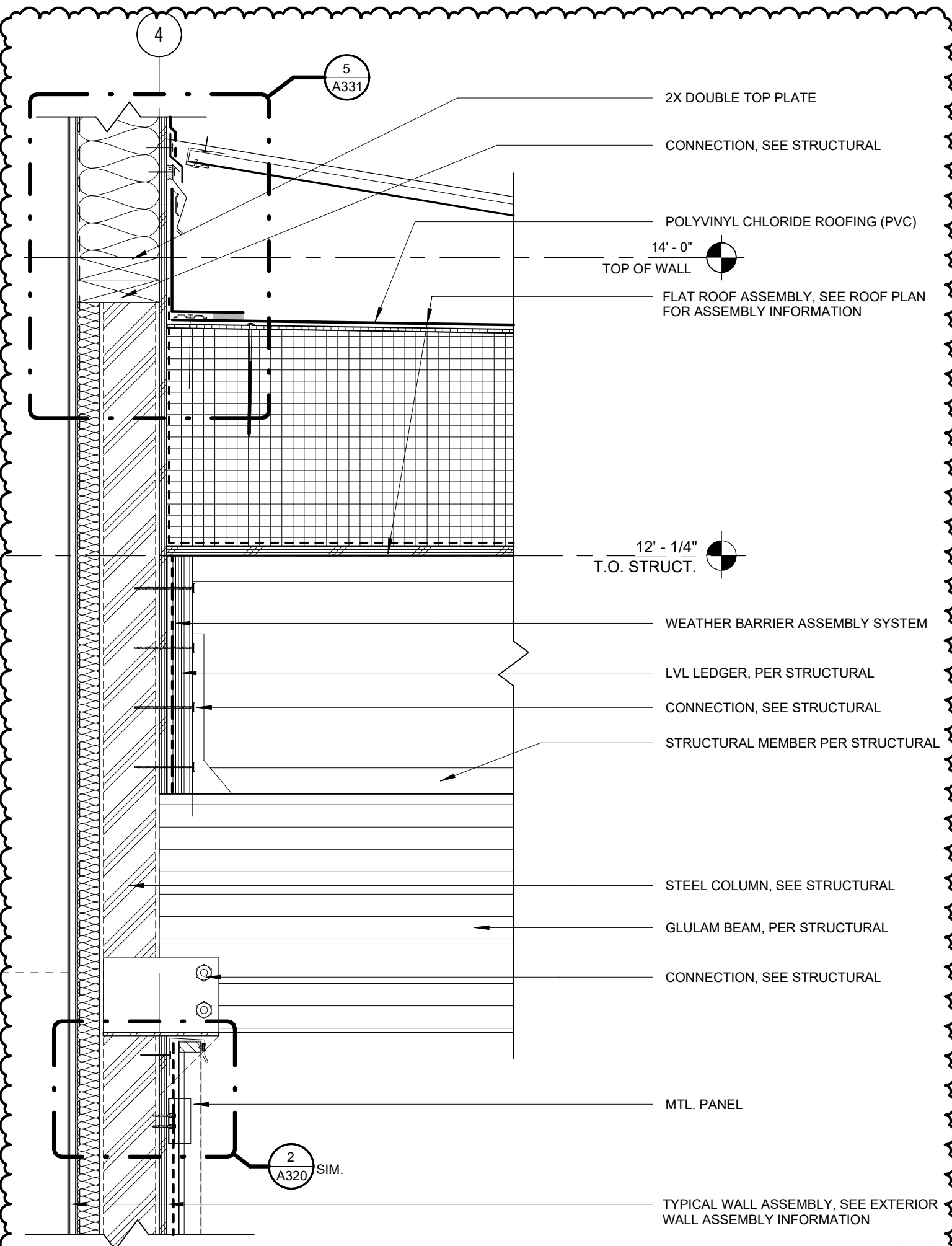


2 CONFERENCE @ CANOPY  
1/4" = 1'-0"

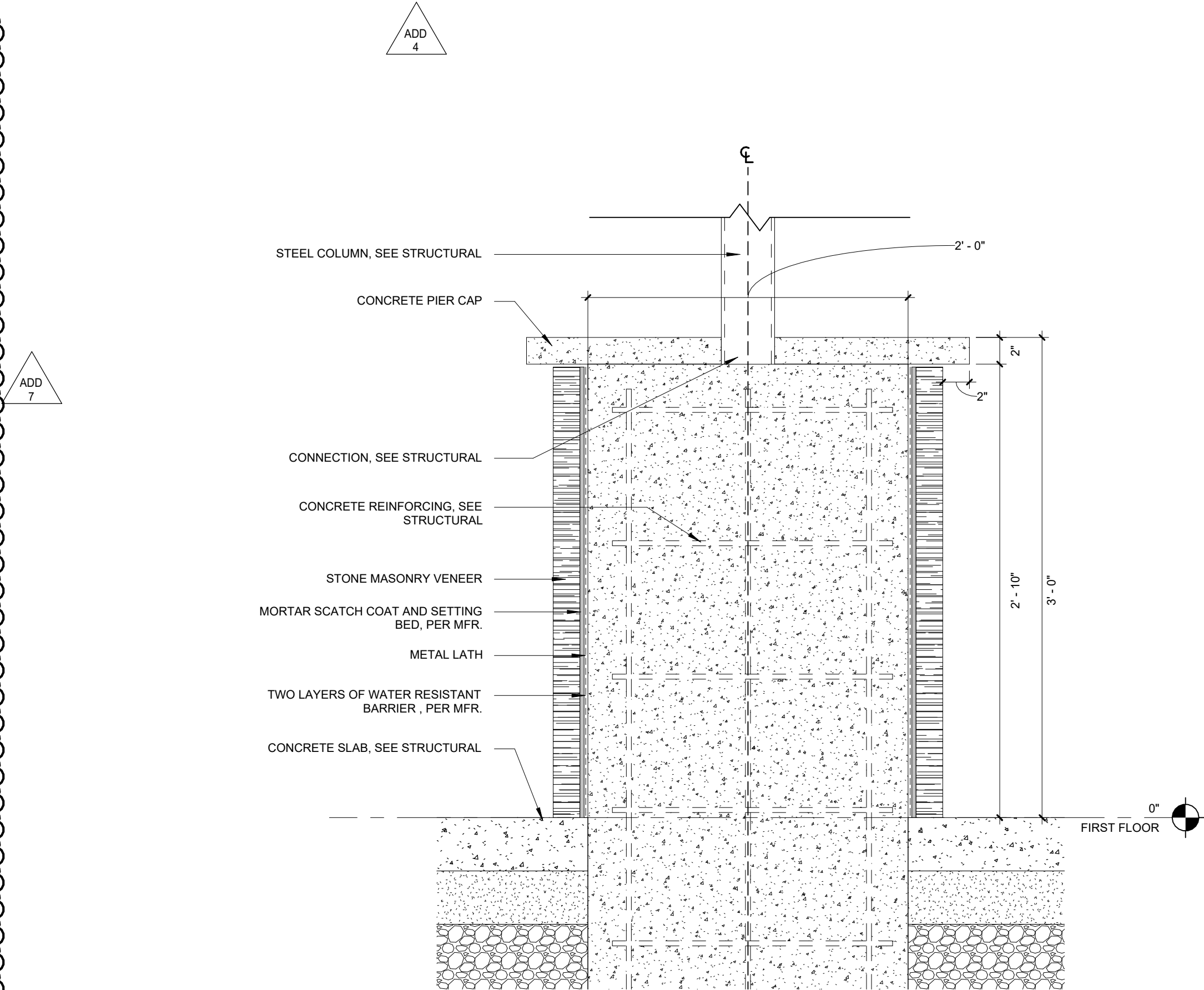


1 CLASSROOM @ SIDE WALL  
1/4" = 1'-0"

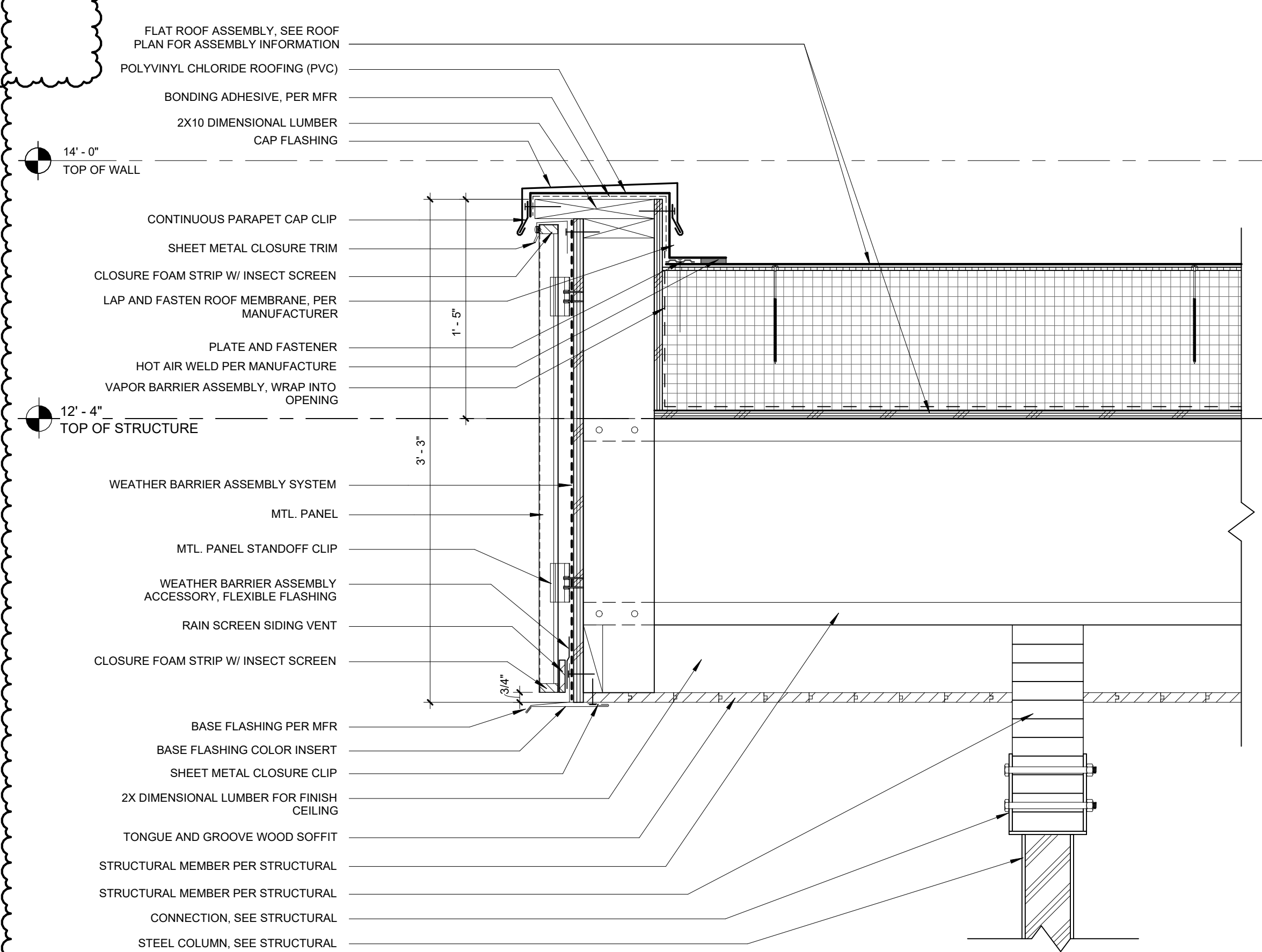




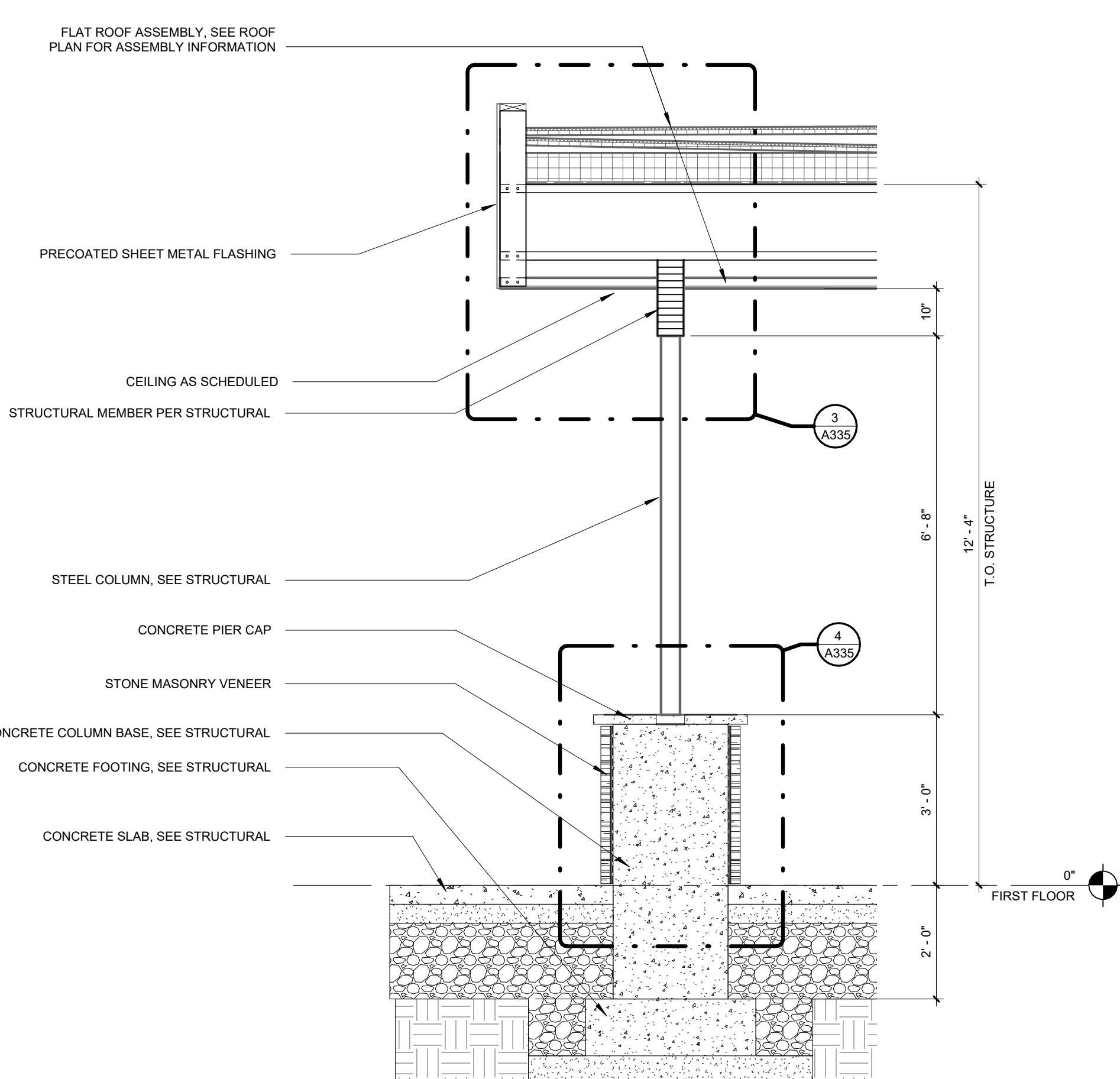
5 ENTRY CANOPY BEAM @ WALL  
1 1/2" = 1'-0"



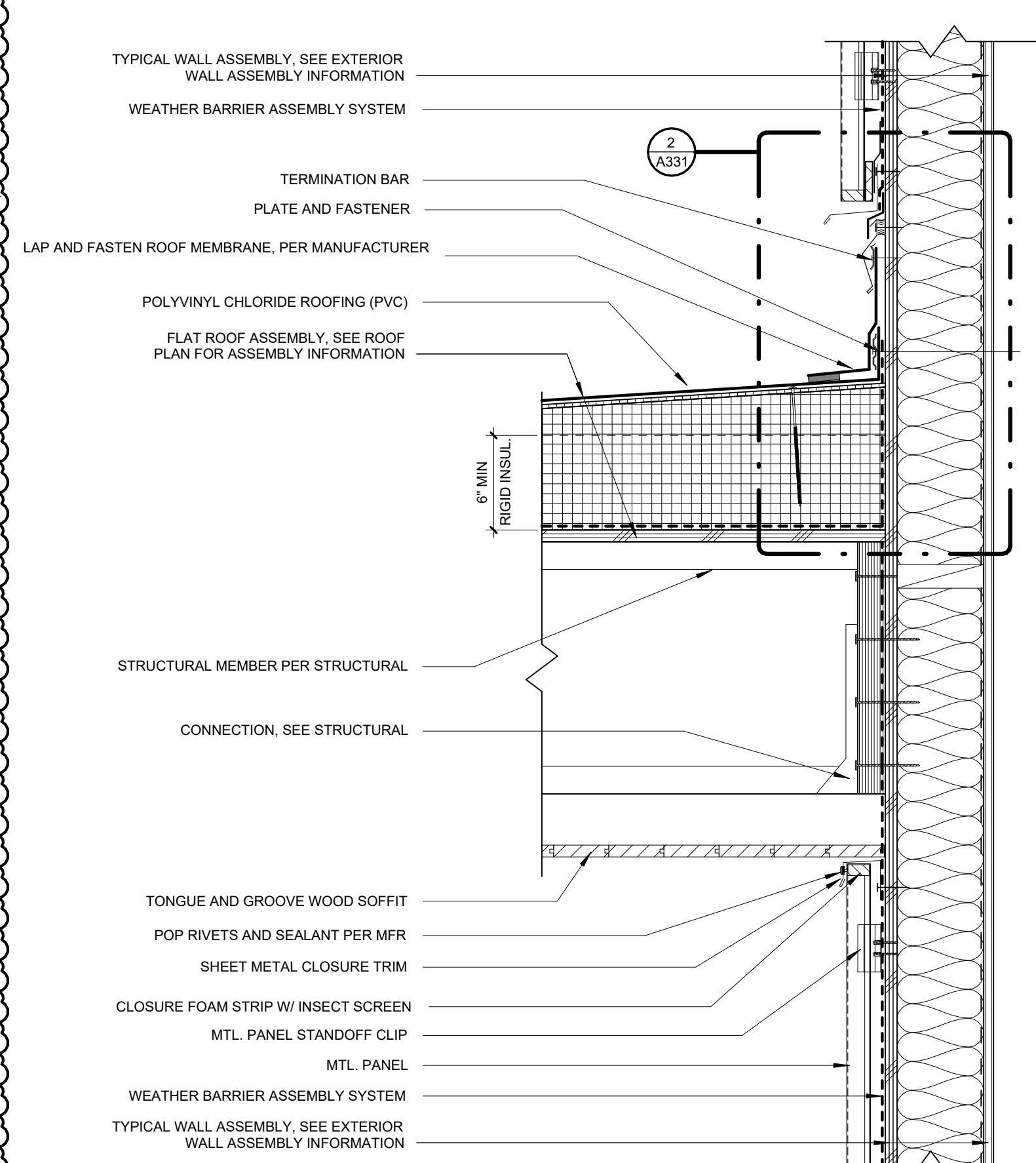
4 CANOPY COLUMN @ STONE BASE  
1 1/2" = 1'-0"



3 CANOPY COLUMN @ GLULAM BEAM  
1 1/2" = 1'-0"

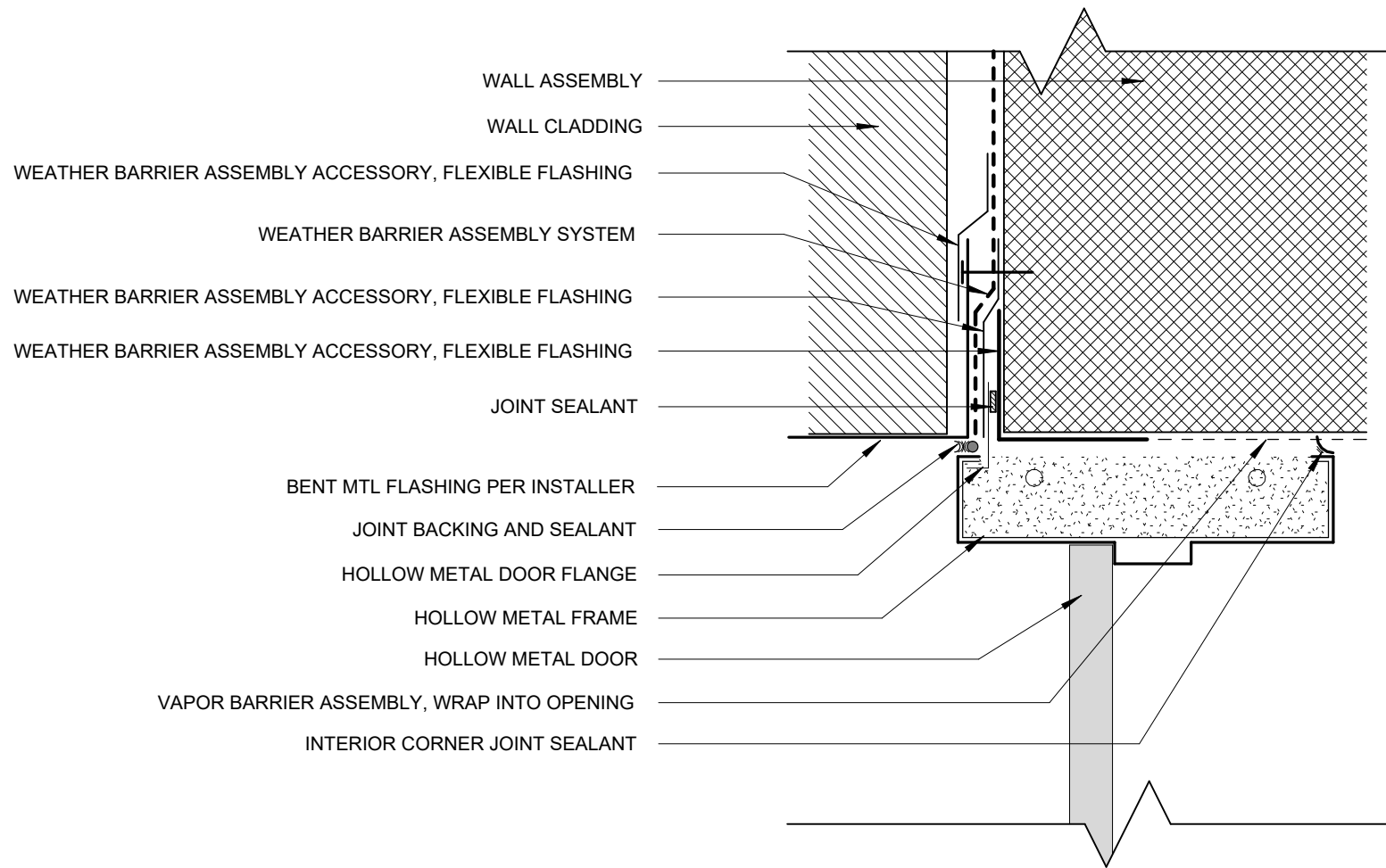


2 CANOPY EDGE  
1/2" = 1'-0"

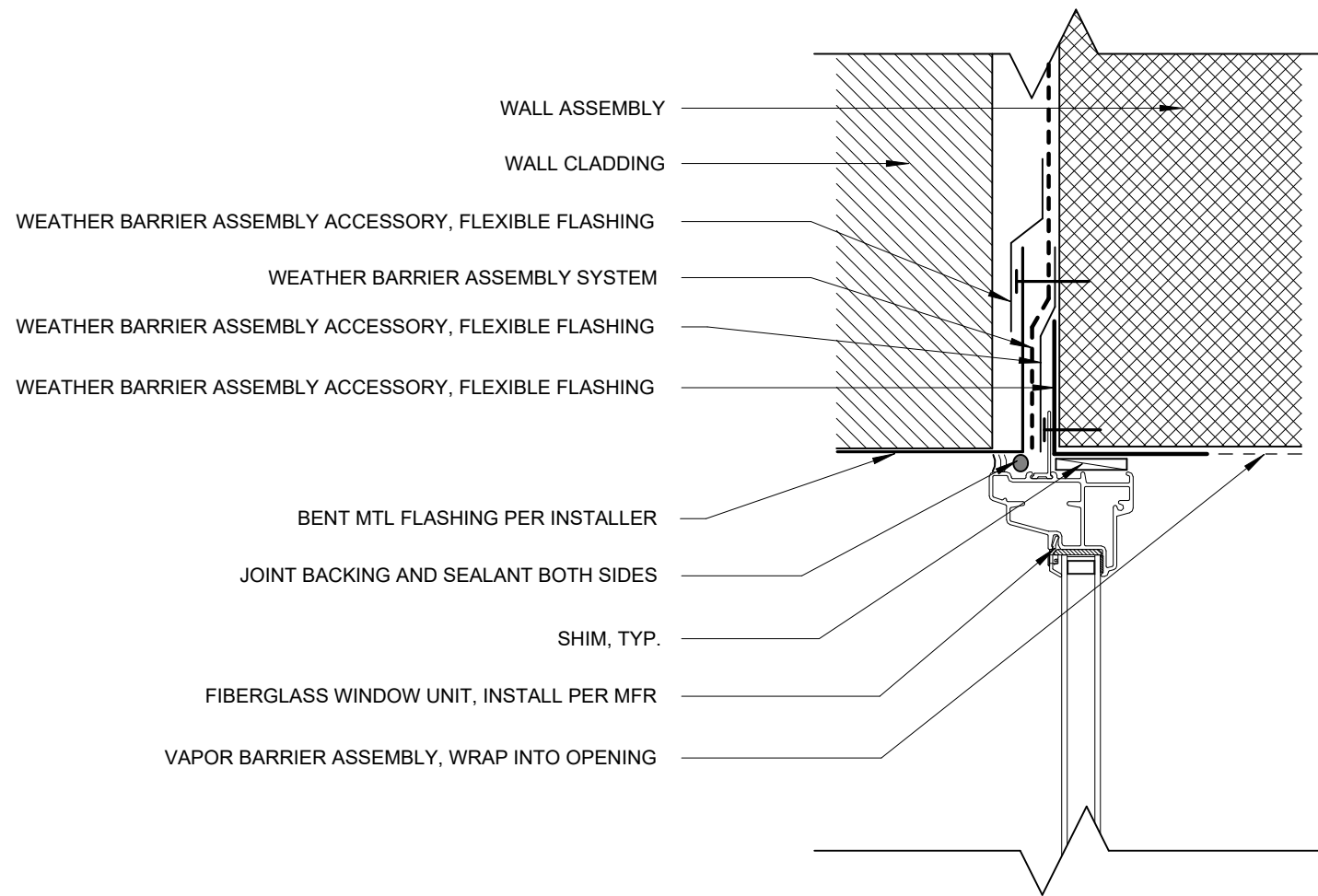


1 CANOPY ROOF @ EXT. WALL  
1 1/2" = 1'-0"

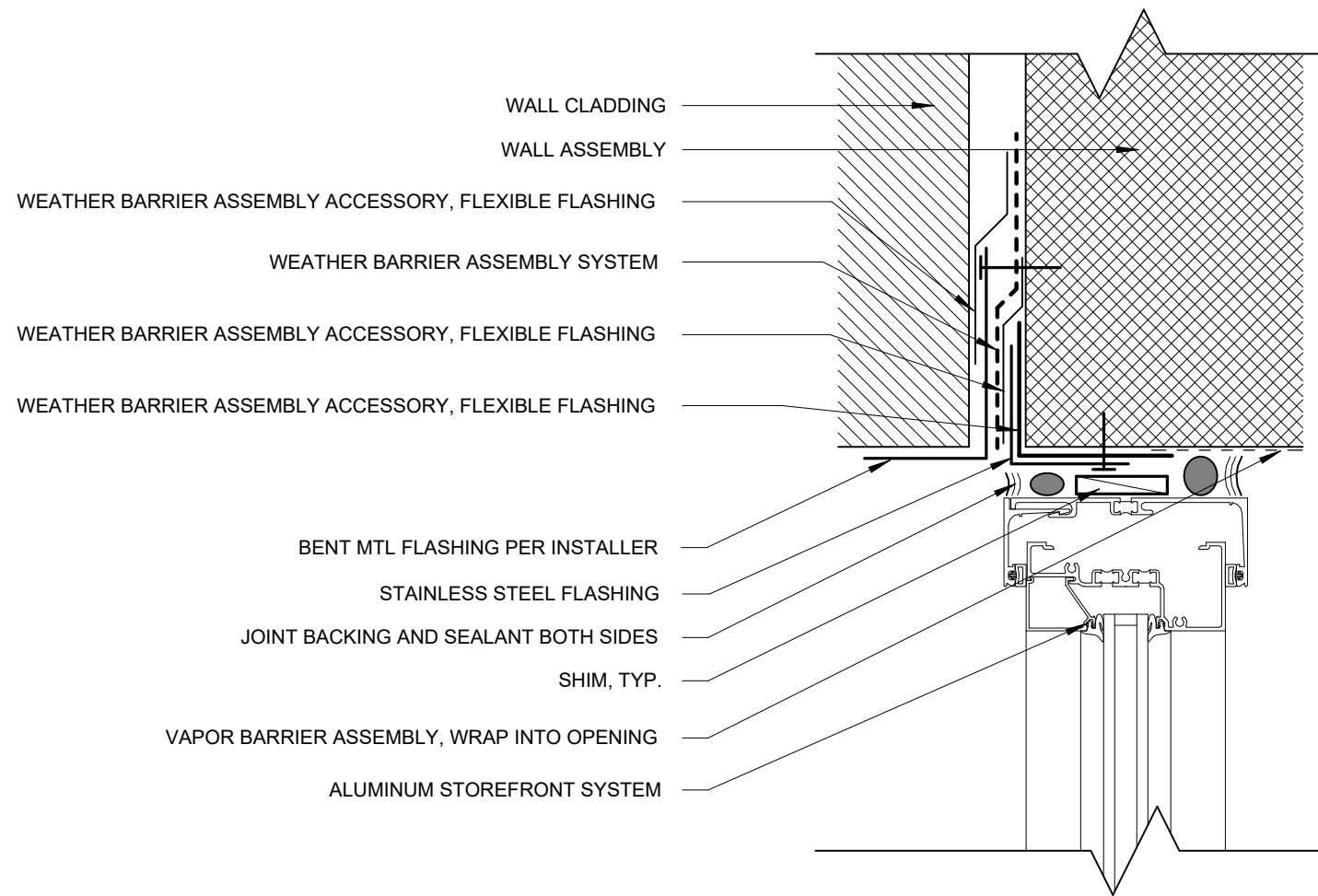




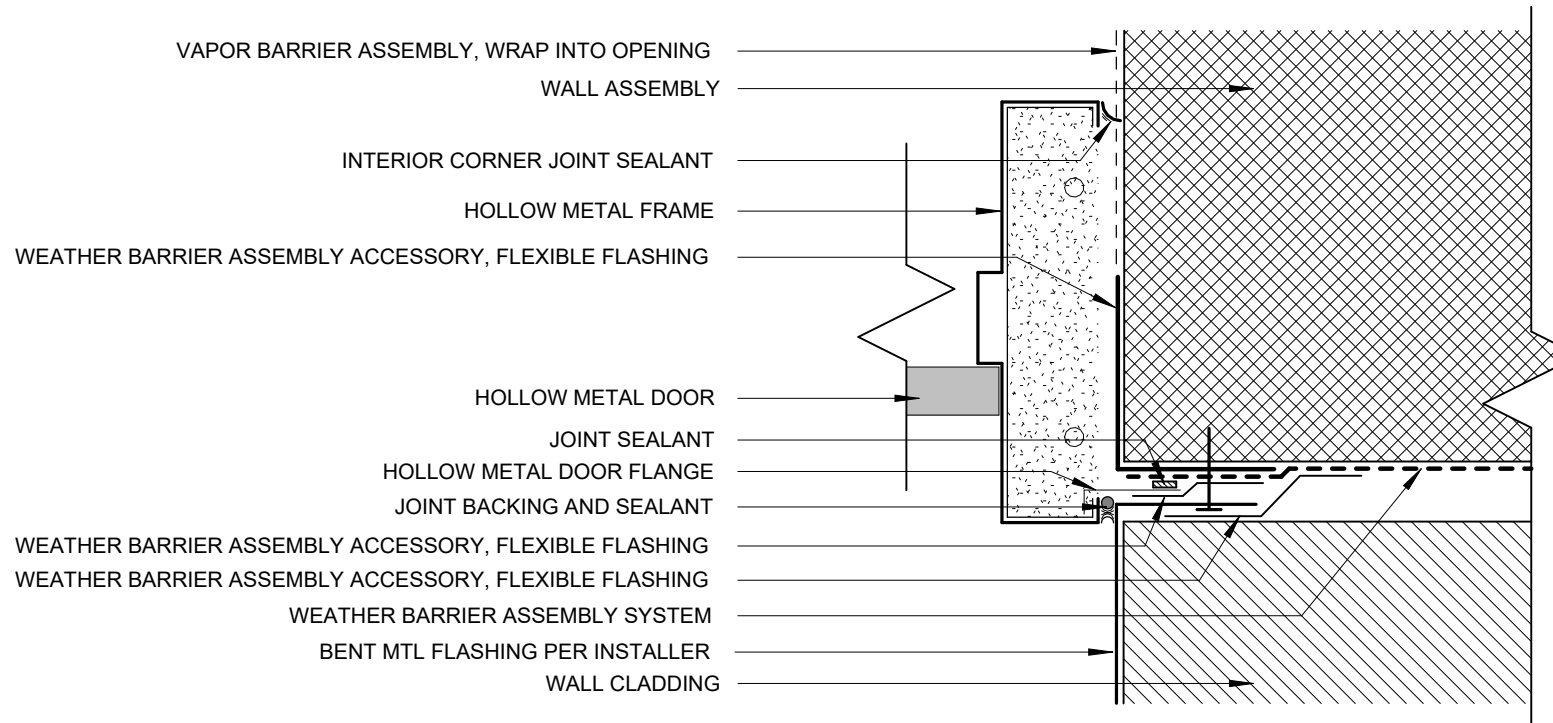
9 TYP. DOOR HEAD  
3" = 1'-0"



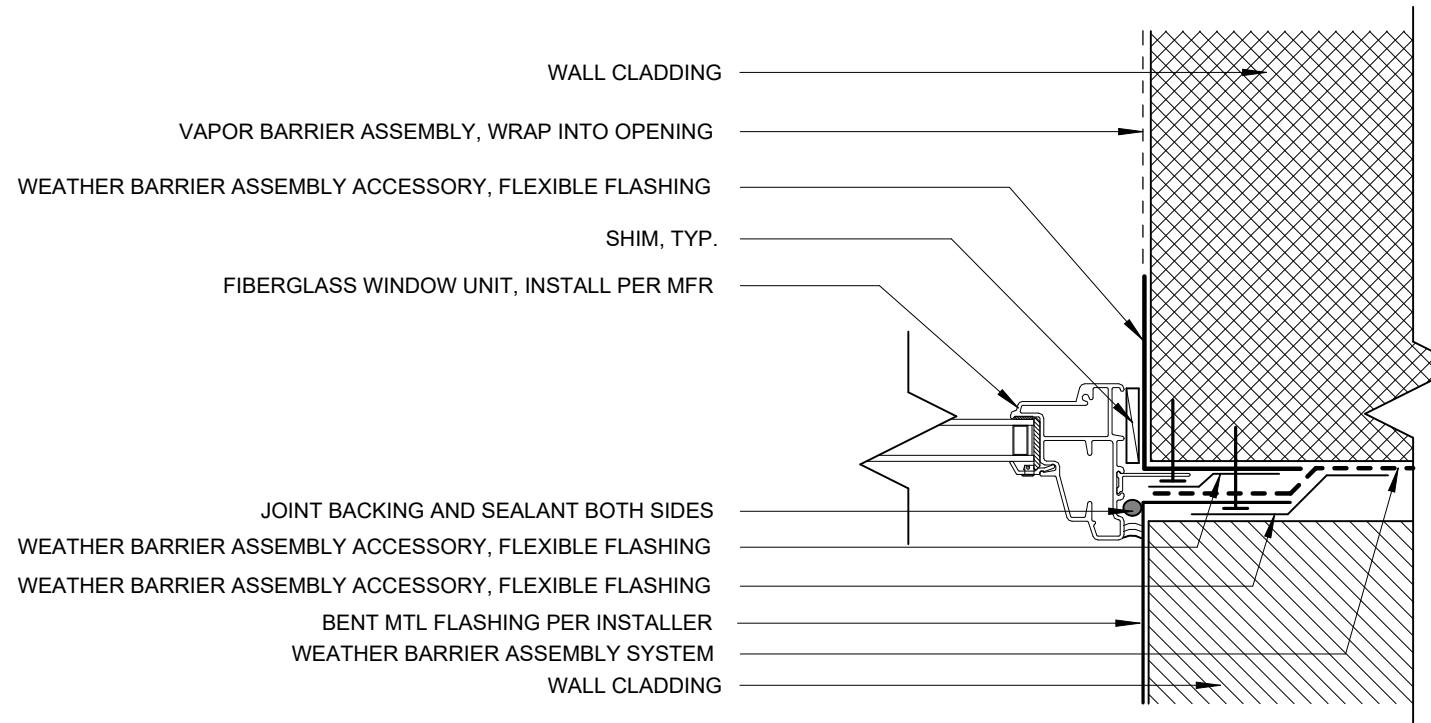
6 TYP. WINDOW HEAD  
3" = 1'-0"



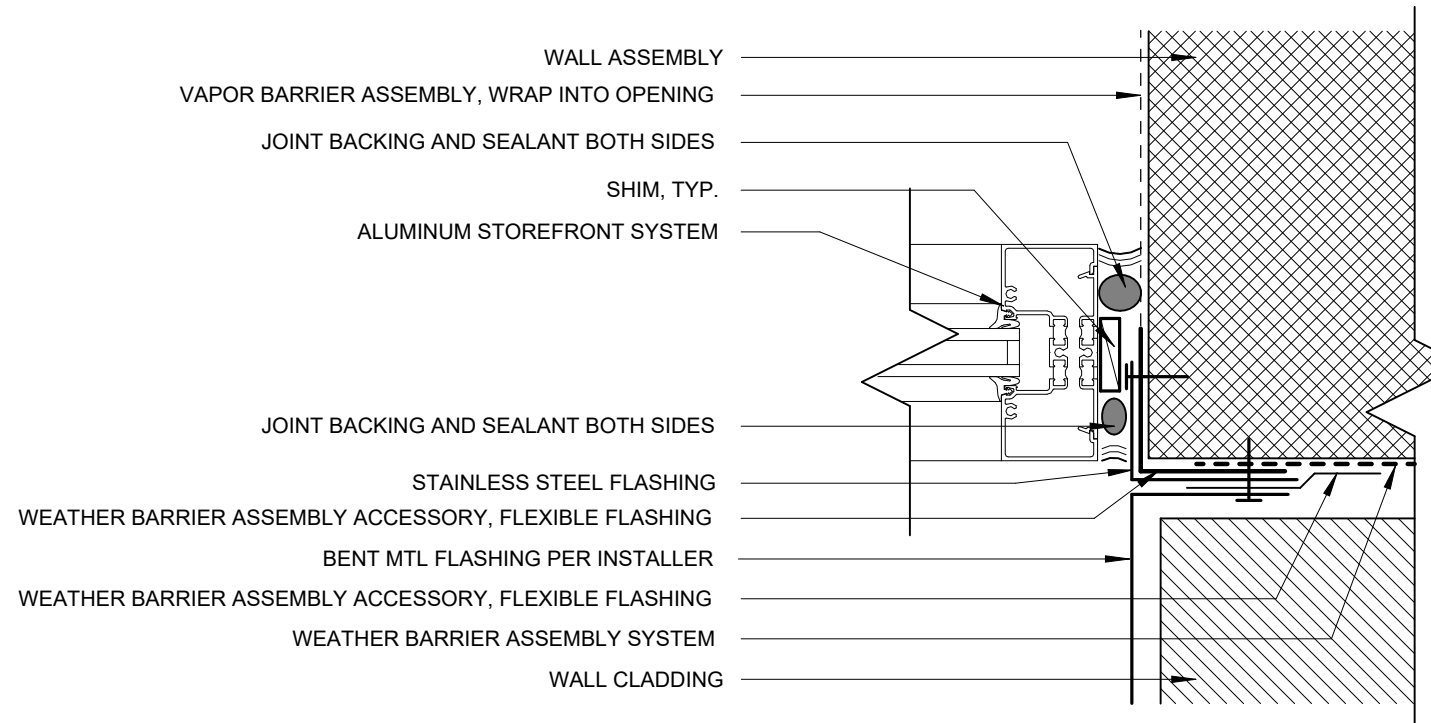
3 TYP. STOREFRONT HEAD  
3" = 1'-0"



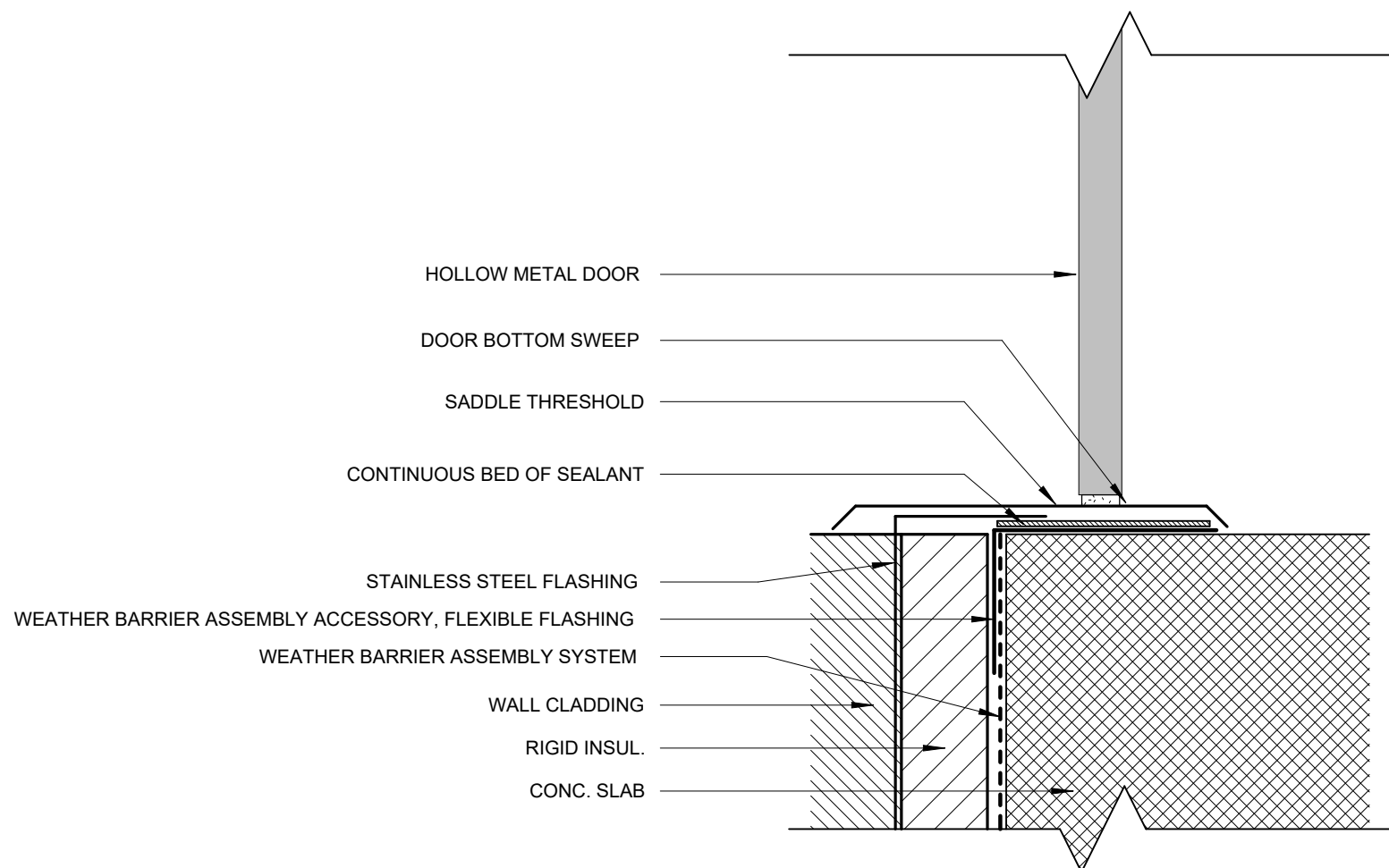
8 TYP. DOOR JAMB  
3" = 1'-0"



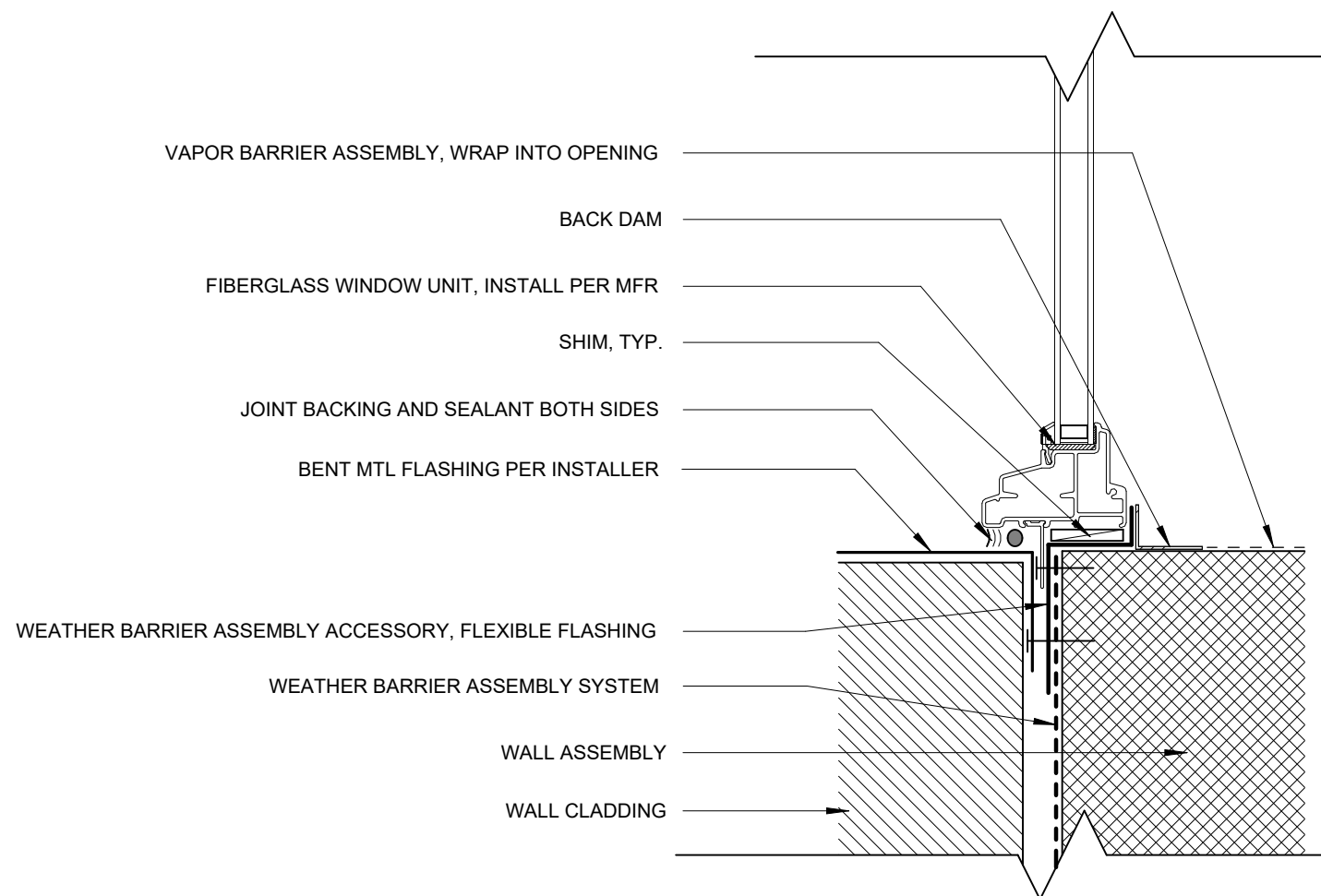
5 TYP. WINDOW JAMB  
3" = 1'-0"



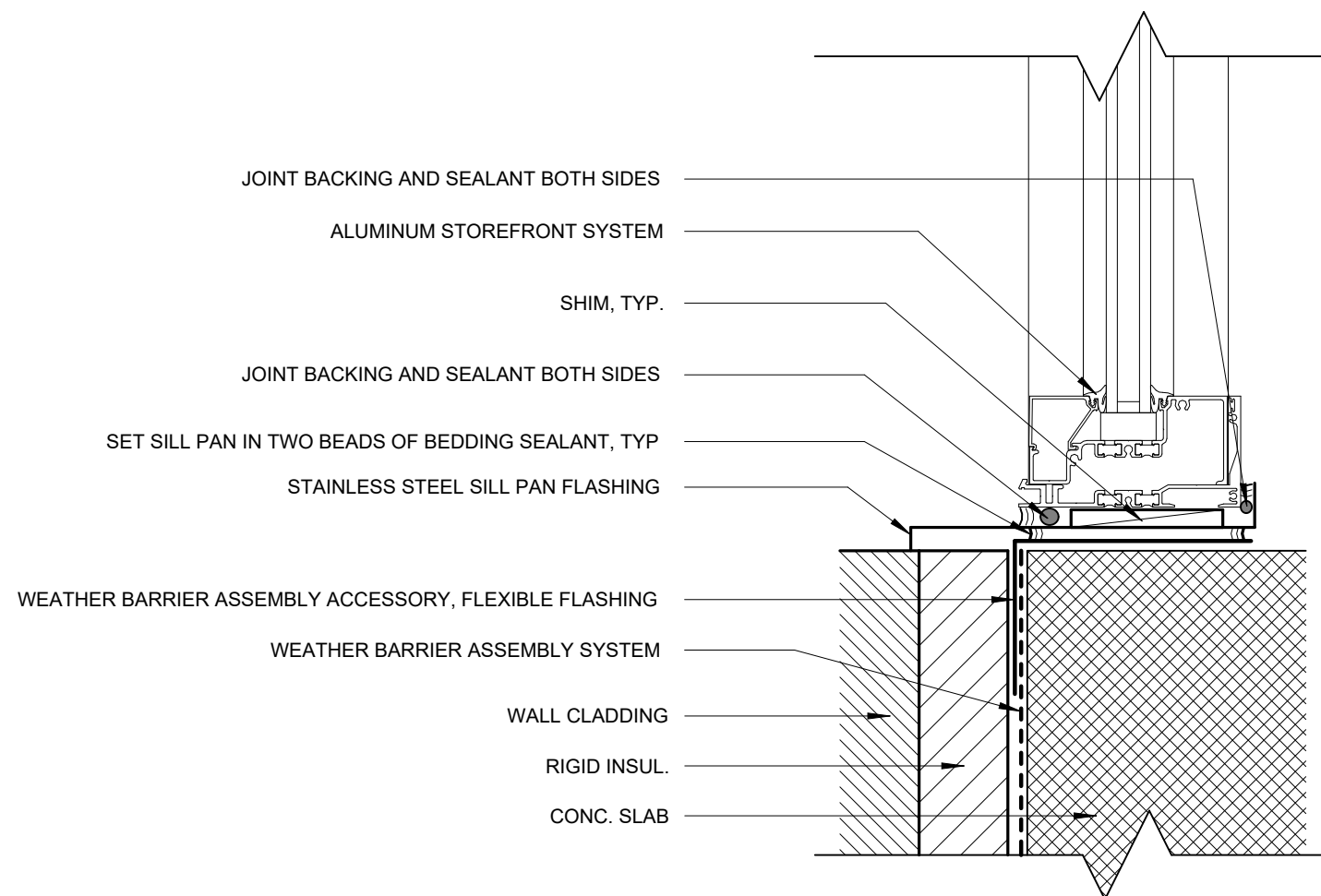
2 TYP. STOREFRONT JAMB  
3" = 1'-0"



7 TYP. DOOR SILL  
3" = 1'-0"



4 TYP. WINDOW SILL  
3" = 1'-0"

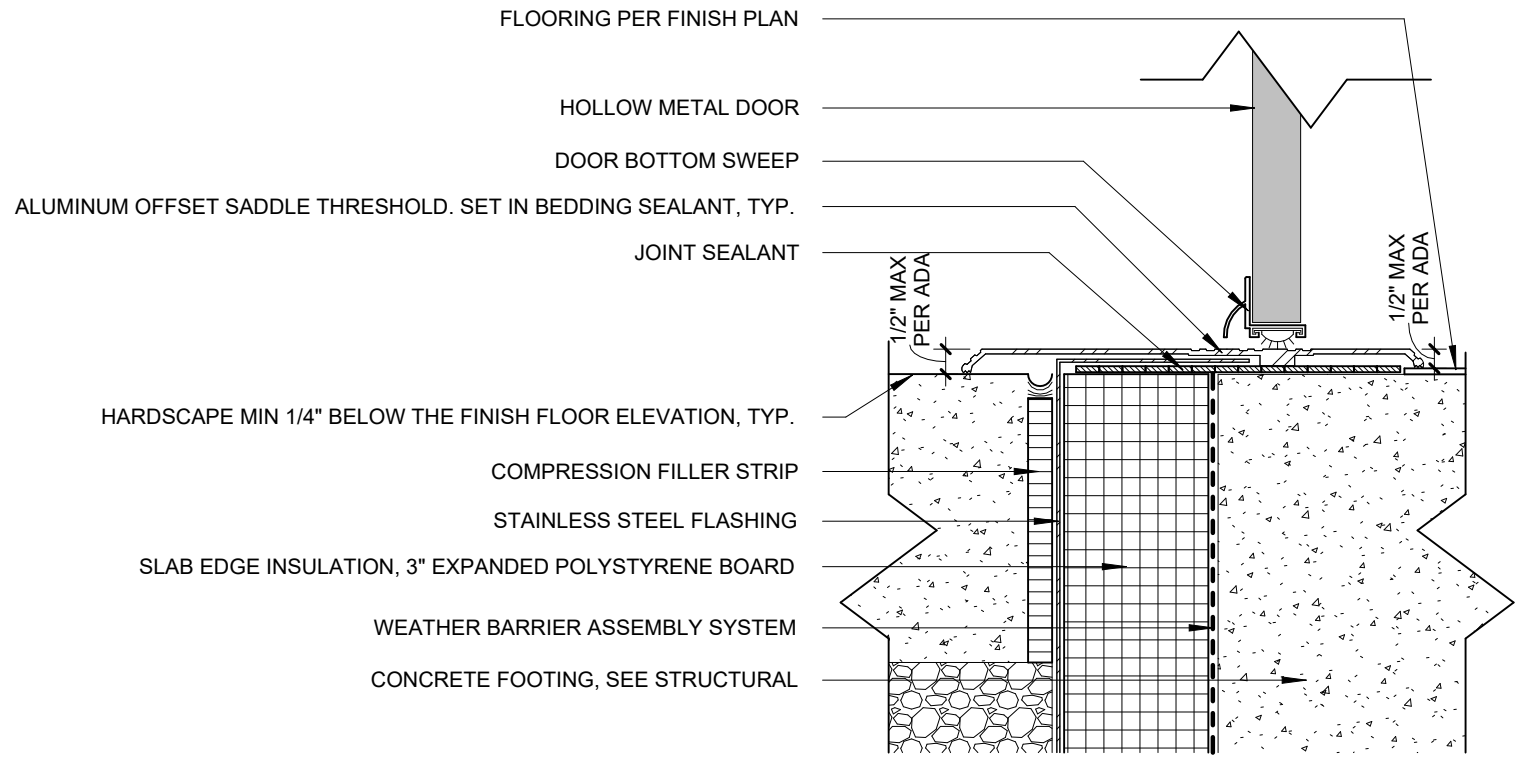


1 TYP. STOREFRONT SILL  
3" = 1'-0"

1

DOOR SILL @ CONC. FLOOR

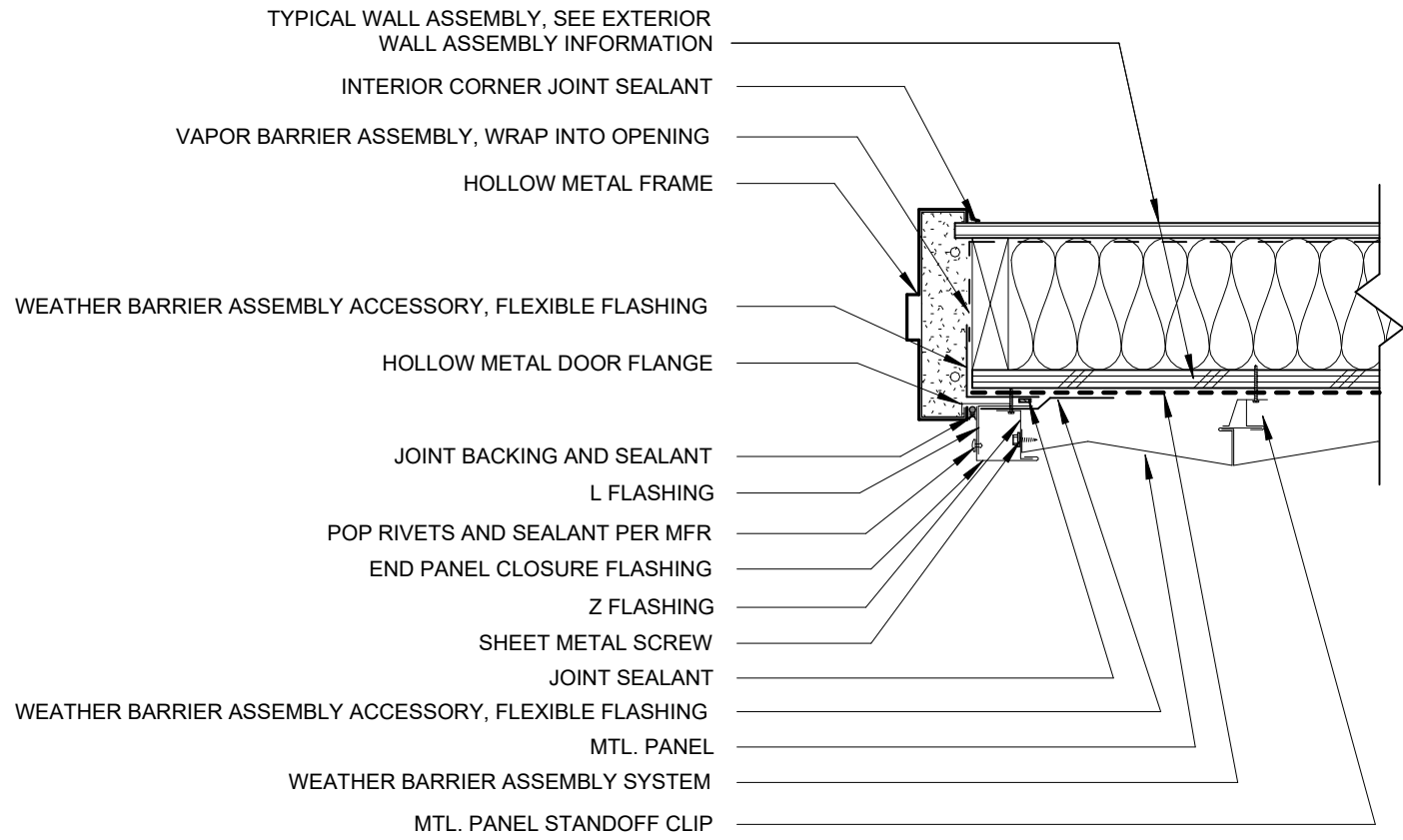
3" = 1'-0"



2

DOOR JAMB @ METAL PANEL

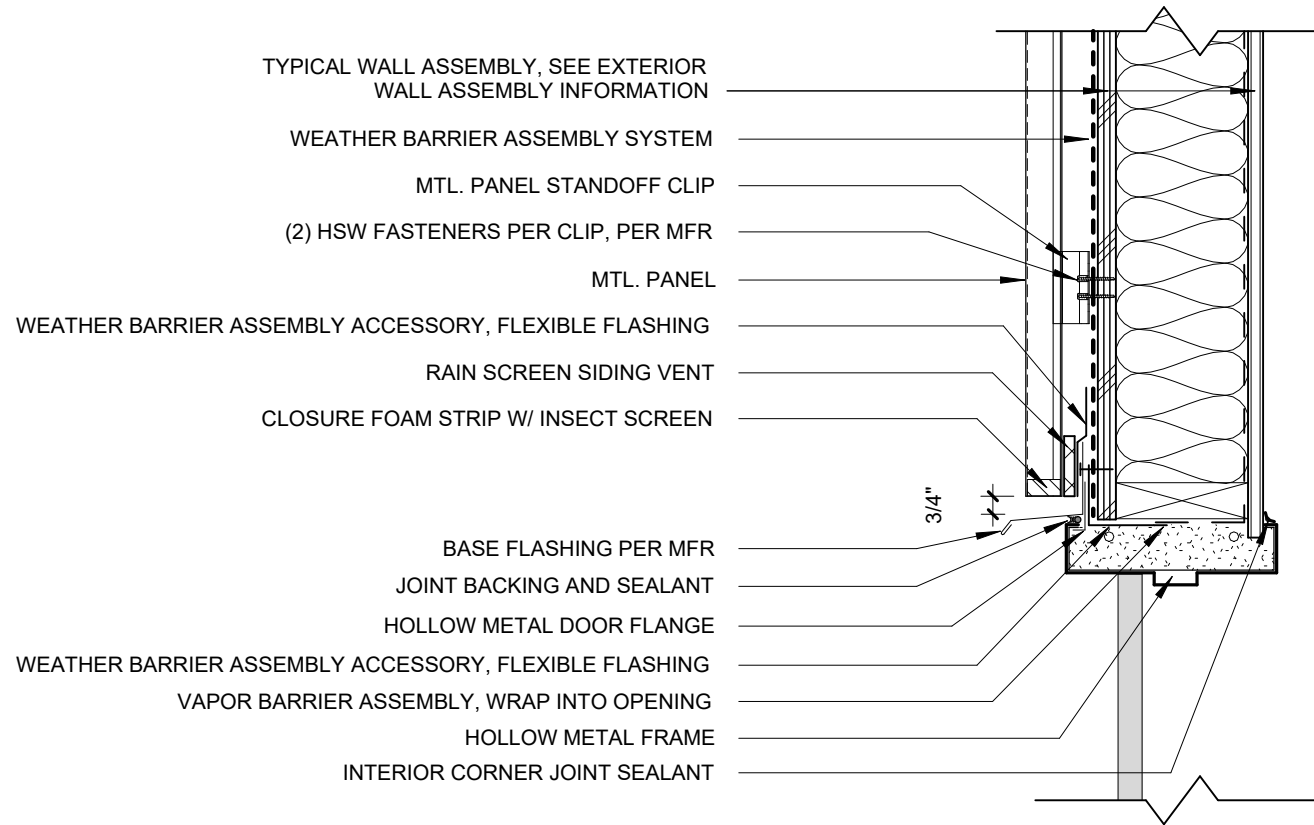
1 1/2" = 1'-0"



3

DOOR HEAD @ METAL PANEL

1 1/2" = 1'-0"



BID AND PERMIT SET

KLAMATH COMMUNITY COLLEGE  
CHILDCARE LEARNING CENTER

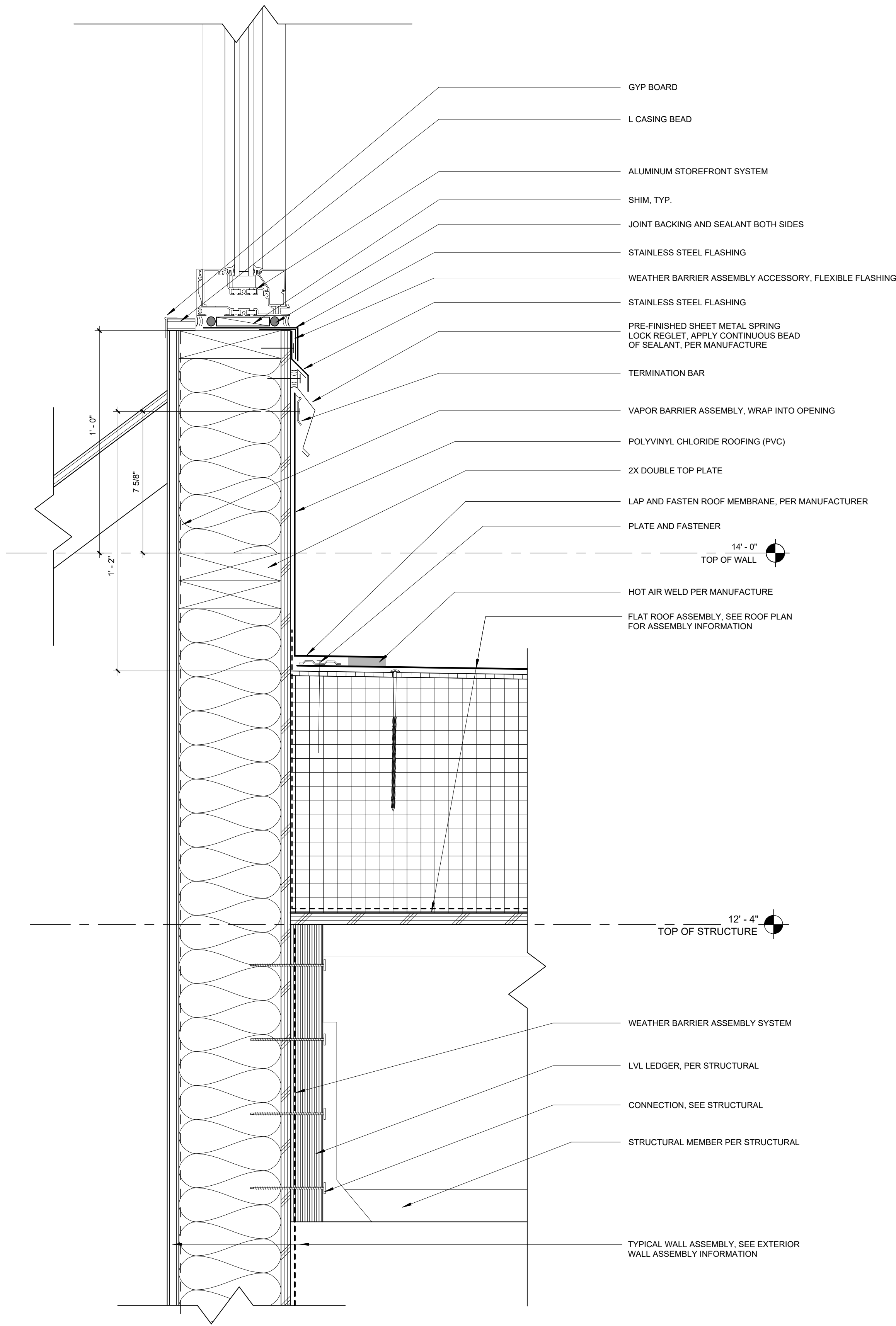
PROJECT # 2331.00  
KLAMATH COMMUNITY COLLEGE  
7390 S. 6TH ST. KLAMATH FALLS, OR 97603

SHEET TITLE:  
DOOR DETAILS

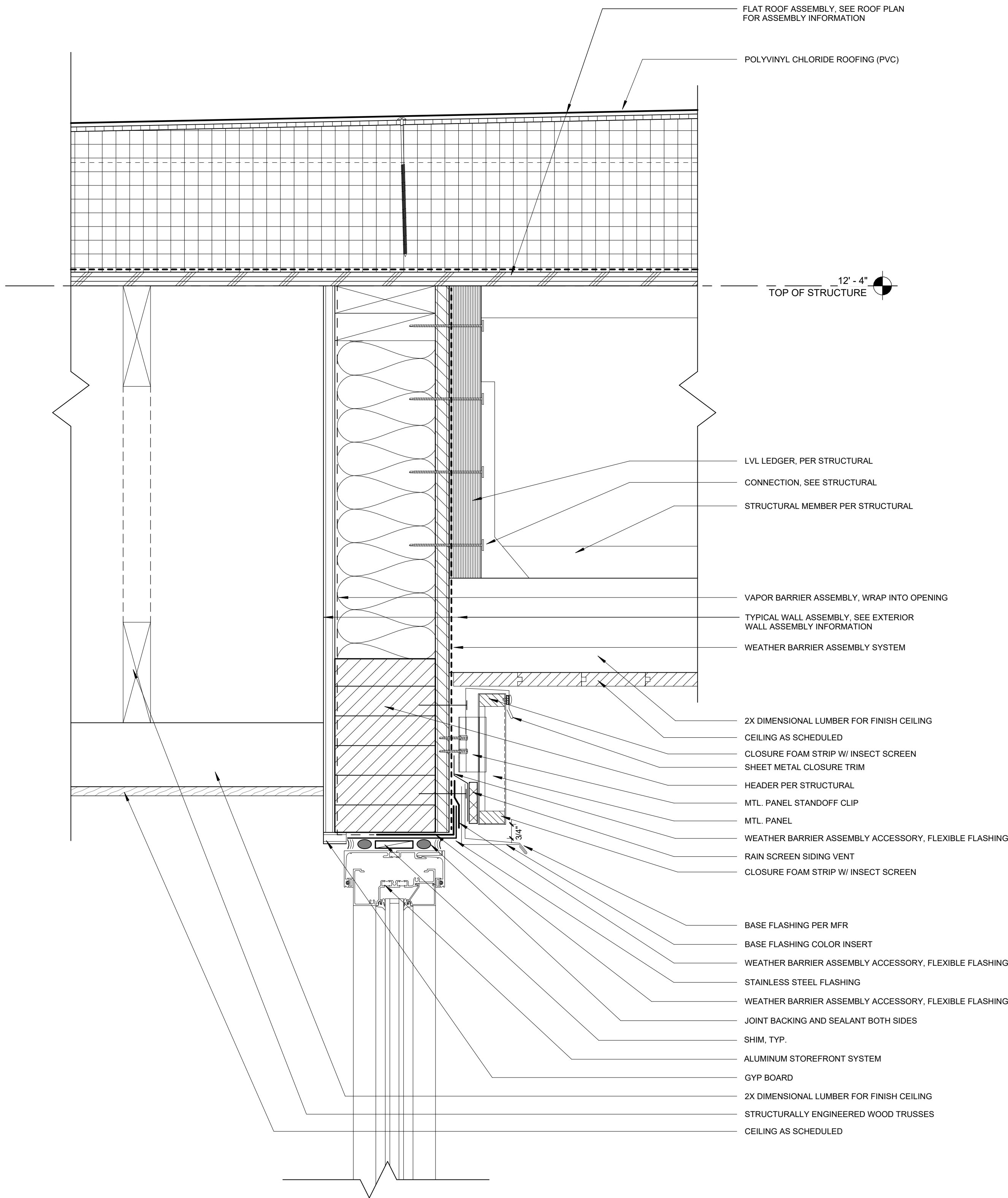
REVISIONS:		
#	DESCRP.	DATE
4	ADD 7	09.17.2025

ISSUE DATE: 08/01/2025

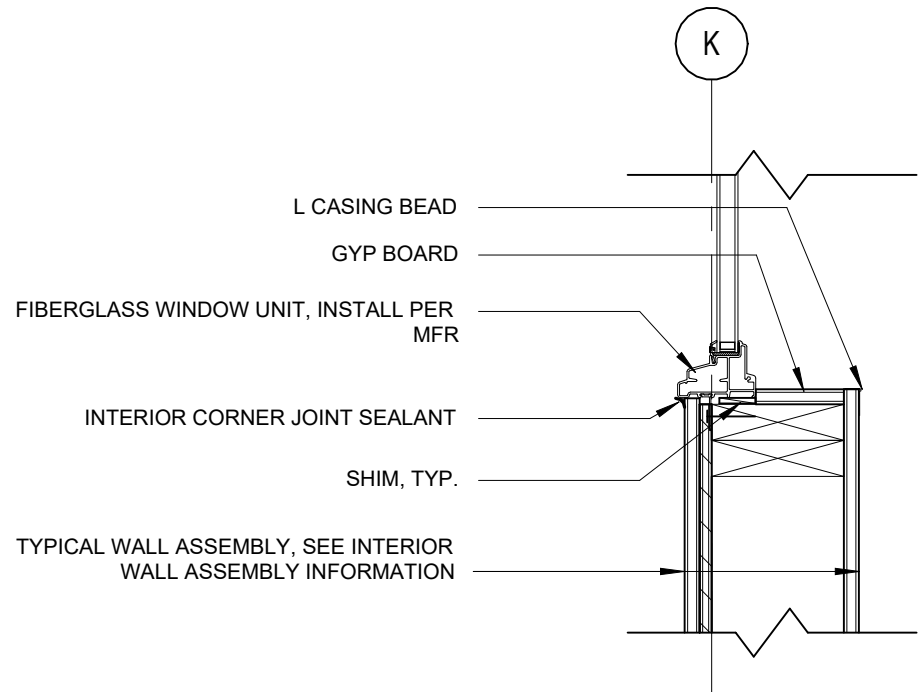




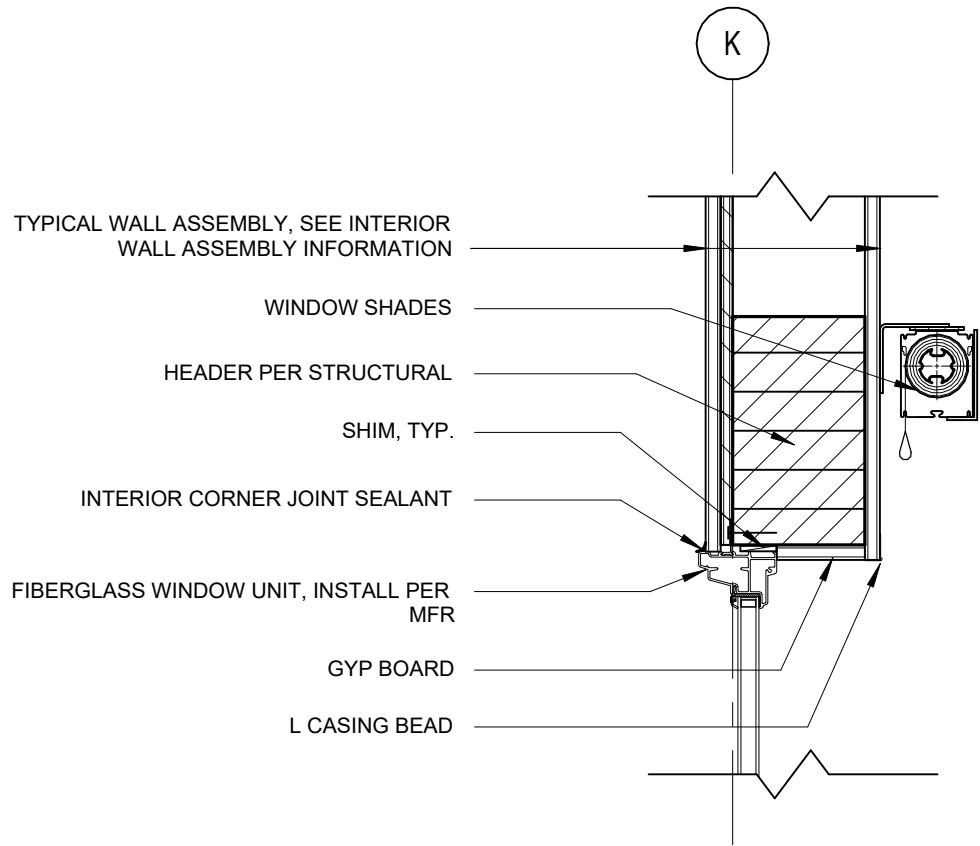
2 STOREFRONT SILL @ PVC ROOF  
3" = 1'-0"



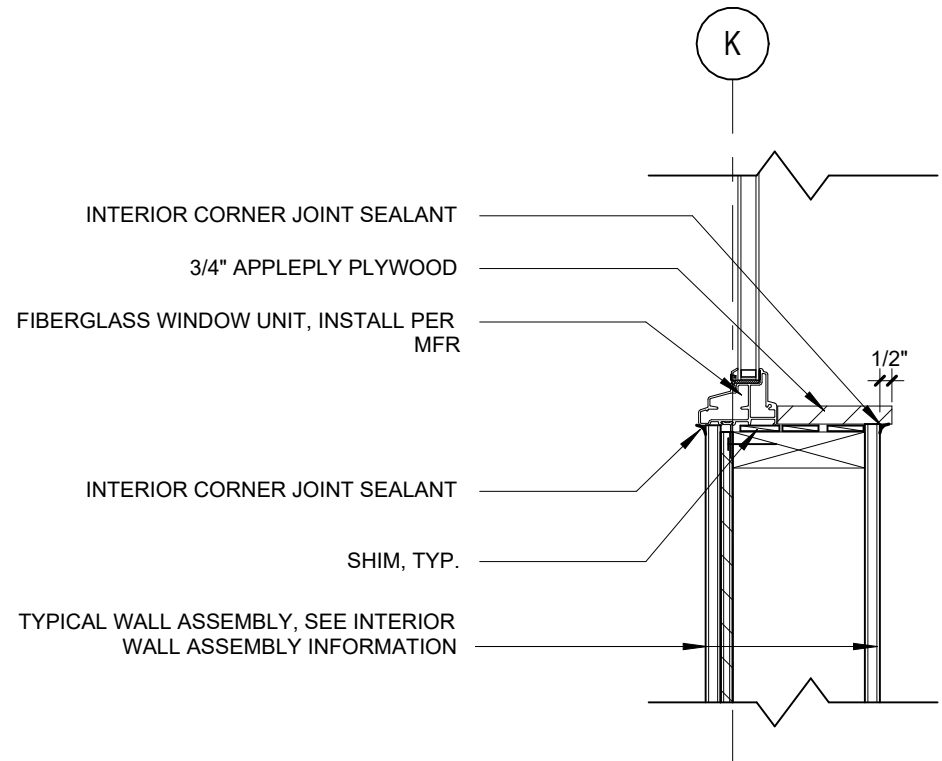
1 ENTRY VESTIBULE STOREFRONT @ CANOPY ROOF  
3" = 1'-0"



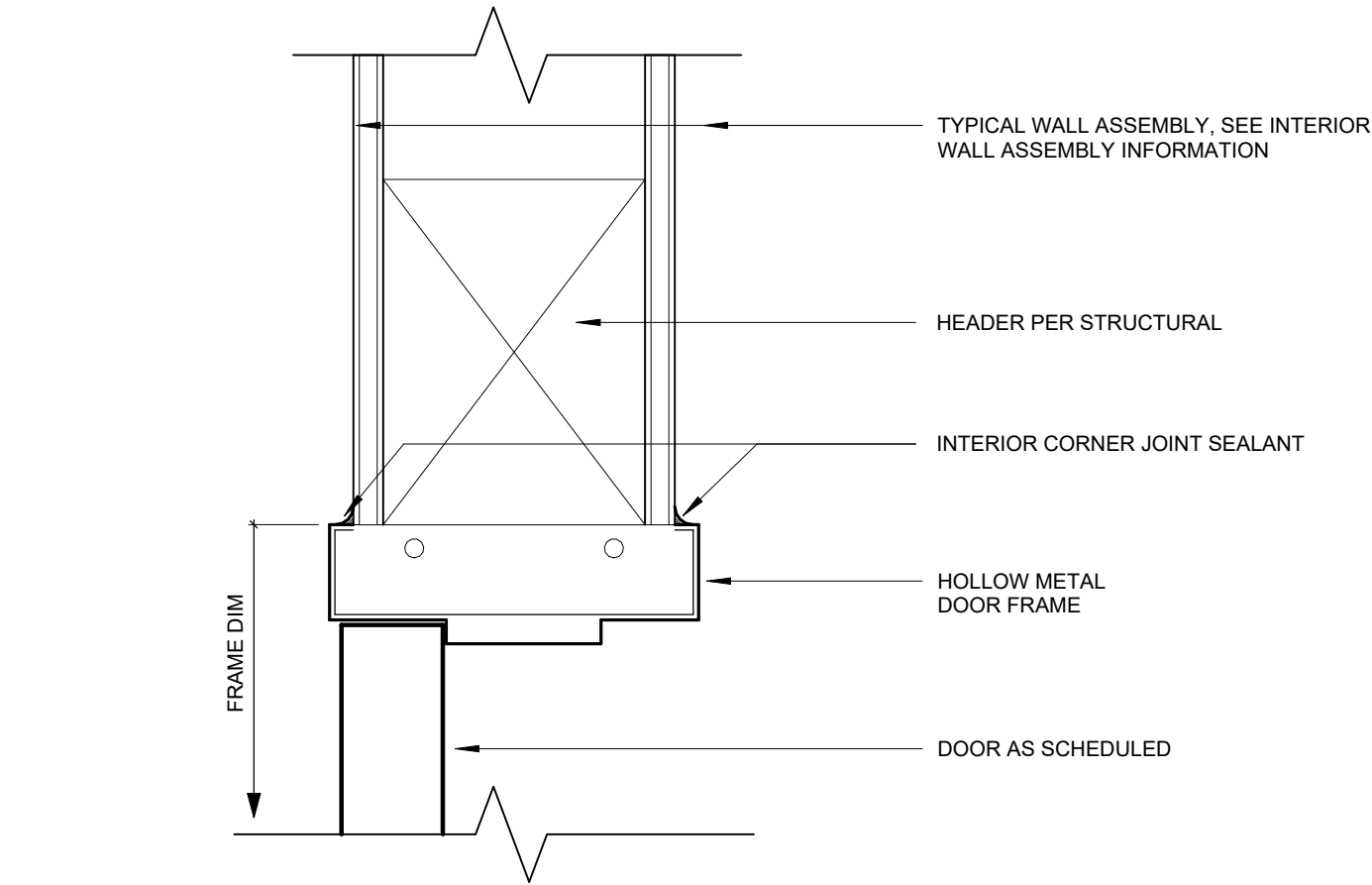
3 INT. WINDOW JAMB  
1 1/2" = 1'-0"



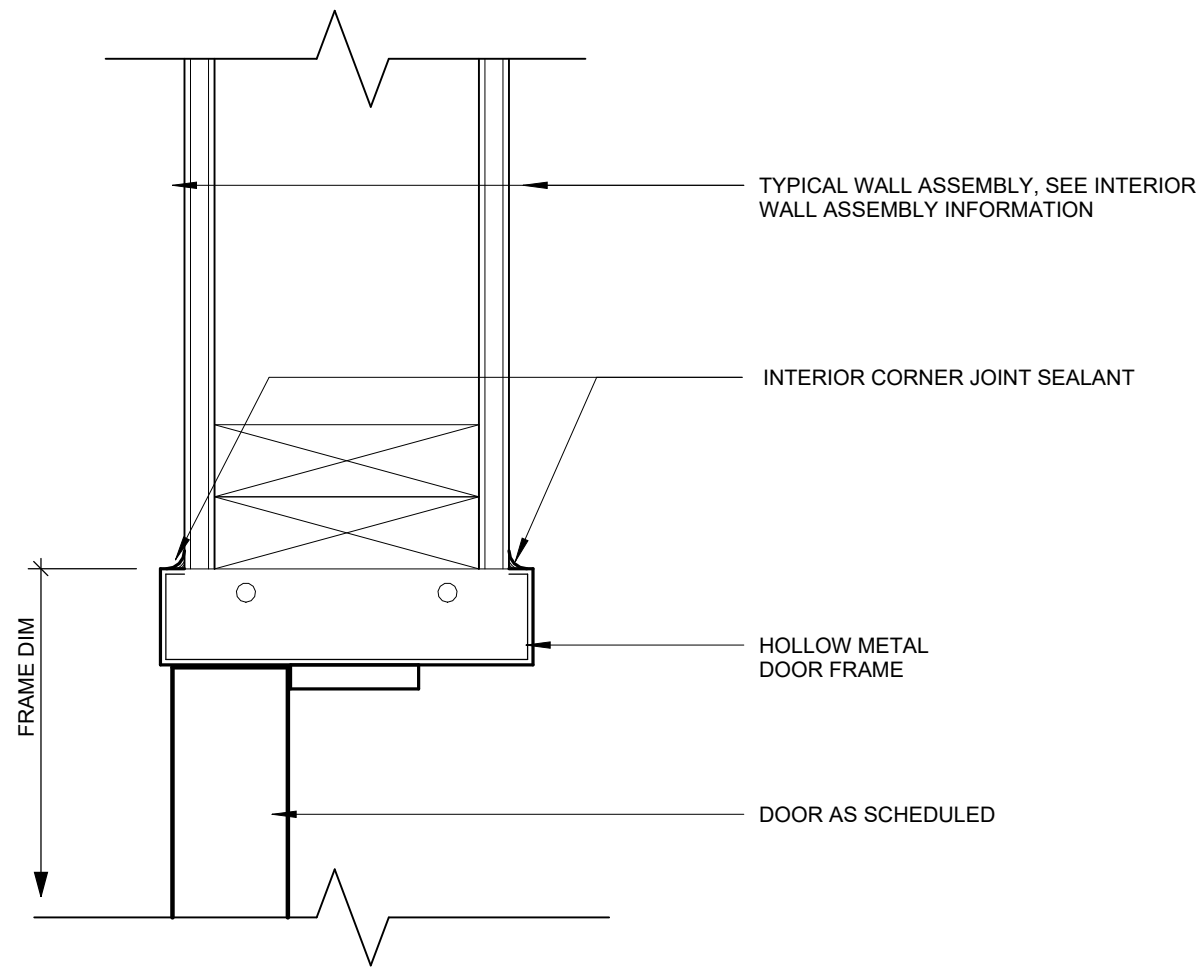
2 INT. WINDOW HEAD  
1 1/2" = 1'-0"



1 INT. WINDOW SILL  
1 1/2" = 1'-0"



2 HOLLOW METAL DOOR HEAD  
3" = 1'-0"



1 HOLLOW METAL DOOR JAMB  
3" = 1'-0"

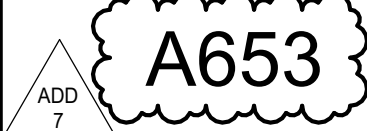


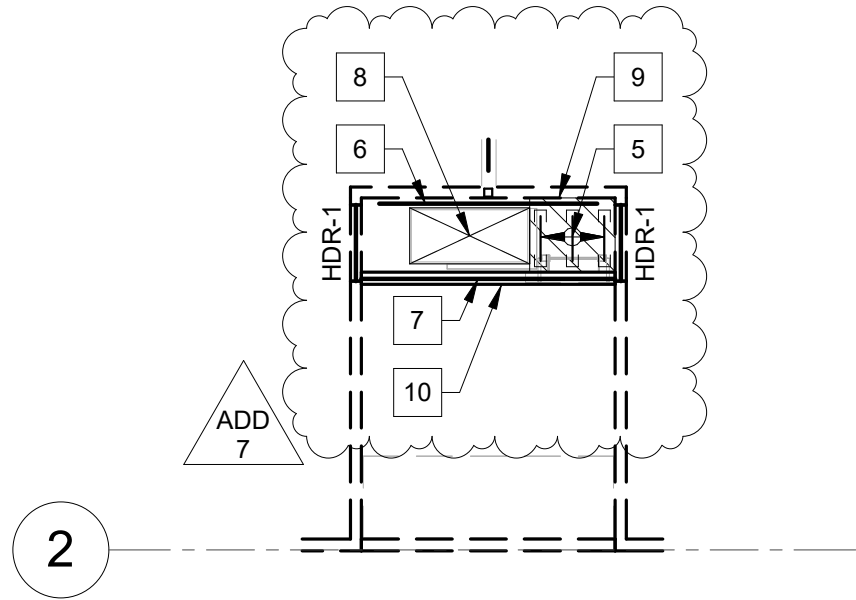
BID AND PERMIT SET  
KLAMATH COMMUNITY COLLEGE  
CHILDCARE LEARNING CENTER  
PROJECT # 2331.00  
KLAMATH COMMUNITY COLLEGE  
7390 S. 6TH ST. KLAMATH FALLS, OR 97603

SHEET TITLE:  
INT. DOOR  
DETAILS

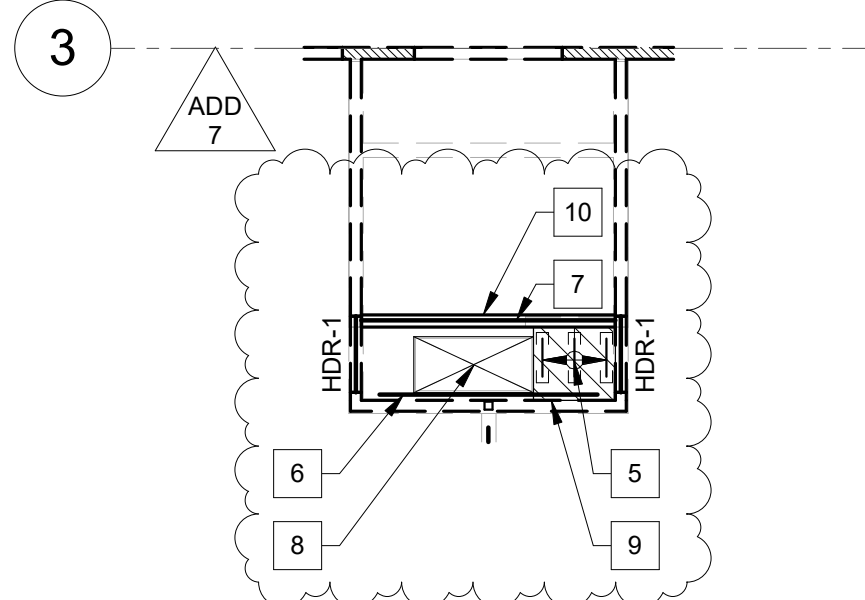
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ISSUE DATE: 08/01/2025

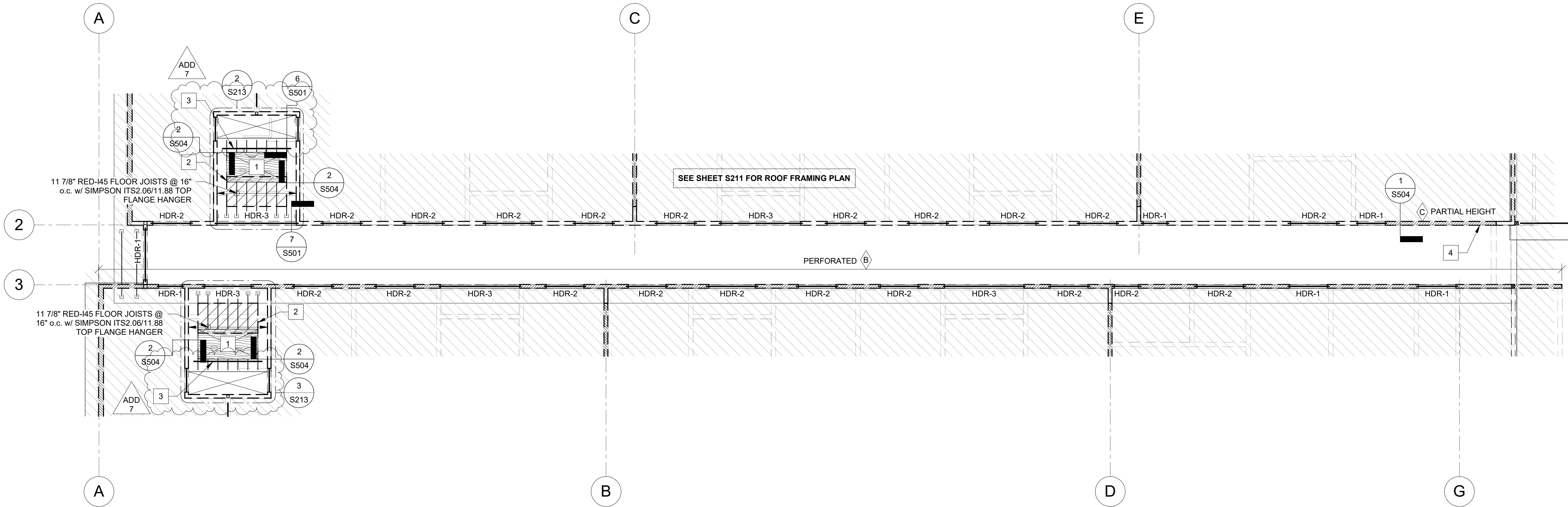




2 RR CEILING PLATFORM FRAMING PLAN  
S213 1/8" = 1'-0"



3 RR CEILING PLATFORM FRAMING PLAN  
S213 1/8" = 1'-0"



1 HALLWAY WALL FRAMING PLAN - SECTOR A  
S213 1/8" = 1'-0"

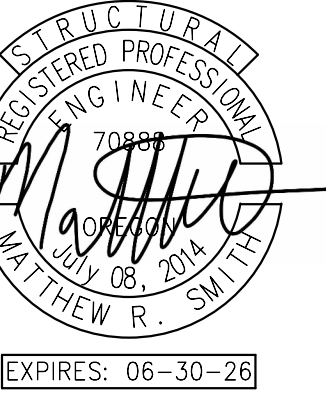
## ROOF AND FLOOR FRAMING PLAN NOTES

- A. COORDINATE ALL DIMENSIONS & FEATURES NOT SHOWN WITH ARCHITECT.
- B. SEE SHEET S001 AND S002 FOR ALL NOTES.
- C. SEE SHEET S007 FOR ALL SCHEDULES.
- D. ALL KEYNOTES INDICATE NEW ITEMS TYPICALLY UNLESS NOTED OTHERWISE.
- E. TRUSS LAYOUT IS FOR REFERENCE ONLY. CONFIRM LAYOUT & BEARING CONDITIONS WITH TRUSS SUPPLIER'S LAYOUT PLAN.
- F. INDICATES ROOF STEP, TYP. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.
- G. BEAMS ARE EQUALLY SPACED IN BAYS, U.N.O.
- H. BEAMS ARE CENTERED ON COLUMNS, WALLS, AND/OR GRID LINES, U.N.O.
- I. INDICATES SHEAR WALL TYPE. SEE SHEAR WALL SCHEDULE ON SHEET S007 FOR ADDITIONAL INFORMATION.
- J. INDICATES SHEAR WALL LOCATION BELOW FRAMING. SEE SHEAR WALL SCHEDULE ON SHEET S007 FOR ADDITIONAL INFORMATION.
- K. INDICATES 2x6 @ 16" o.c. BEARING STUDWALL BELOW FRAMING w/ DOUBLE TOP PLATE AND SINGLE P.T. BOTTOM PLATE, U.N.O.
- L. ALL SHEAR WALLS INDICATED AS "PERFORATED" THE CONTRACTOR SHALL PROVIDE NAILING PATTERN AROUND ALL WALL PENETRATIONS AS CALLED OUT ON FRAMING PLANS IN CORRESPONDENCE WITH THE SHEAR WALL SCHEDULE.
- M. F.T.A.O. INDICATES FORCE TRANSFER AROUND OPENING IN WALL. PROVIDE PANEL EDGE NAILING AROUND ALL WALL PENETRATIONS PER SHEAR WALL SCHEDULE. SEE ASSOCIATED ELEVATION FOR ADDITIONAL INFORMATION.
- N. # INDICATES HOLDOWN TYPE AND LOCATION. SEE HOLDOWN SCHEDULE FOR ADDITIONAL INFORMATION.
- O. HDR-X INDICATES HEADER SIZE. SEE HEADER SCHEDULE ON SHEET S007 FOR ADDITIONAL INFORMATION. TYPICAL INTERIOR NON-BEARING WALL HEADER TO BE (2) 2x6 DF #2 w/ SINGLE TRIMMER AND KING STUD, U.N.O.

## MEZZANINE FLOOR FRAMING KEYNOTES

1. 1 1/8" PLYWOOD FLOOR SHEATHING w/ 3"x0.148"Ø NAILS @ 6" o.c. BOUNDARY & PANEL EDGE AND 12" o.c. FIELD NAILING. BLOCK AND ALL PANEL EDGES w/ FLAT 2x BLOCKING.
2. MECHANICAL UNIT BY OTHERS. MAX. WEIGHT = 3,000 LBS.
3. 5 1/2x9 1/4 GLB. POCKET INTO STUD WALL AND PROVIDE (2) STUDS AND KING STUD EACH FACE.
4. 4x FULL DEPTH DRAG BLOCKING IN WALL CAVITY FOR FULL LENGTH OF SHEAR WALL w/ SIMPSON CMST12 COIL STRAP w/ 3"x0.148"Ø NAILS.
5. 2x6 CEILING JOISTS @ 16" o.c. w/ SIMPSON LUS26 FACE MOUNT HANGER.
6. 2x6 LEDGER. ATTACH TO EACH STUD w/ (2) SIMPSON SDWS22400DB SCREWS.
7. 5 1/2x7 1/2 GLB POCKET IN STUD WALL AND PROVIDE (2) STUDS AND KING STUD EACH SIDE.
8. APPROXIMATE LOCATION OF 60"x28" PLATFORM ACCESS PANEL. PROVIDE DOUBLE TRIMMER JOIST EACH SIDE AND DOUBLE JOIST HEADER BOTH w/ SIMPSON LUS26-2 FACE MOUNT HANGER.
9. 42"x36" PLATFORM w/ 5/8" PLYWOOD SHEATHING w/ 2 1/2"x0.148"Ø NAILS @ 6" o.c. PANEL EDGE AND 12" o.c. FIELD NAILING.
10. 2x6 STUDS @ 16" o.c. w/ DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE ON TOP OF BEAM AT PLATFORM.

PIVOT  
ARCHITECTURE



BID & PERMIT SET  
KLAMATH COMMUNITY COLLEGE  
EARLY LEARNING CENTER

PROJECT # : K-6381-24  
KLAMATH COMMUNITY COLLEGE  
7390 S. 6TH AVE.  
KLAMATH FALLS, OR 97603

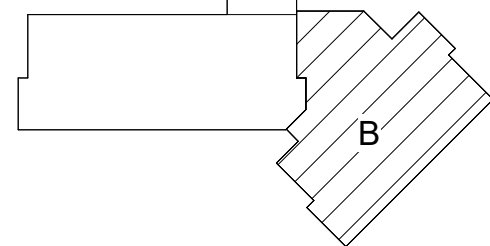
SHEET TITLE:  
HALLWAY WALL  
FRAMING PLAN -  
SECTOR A

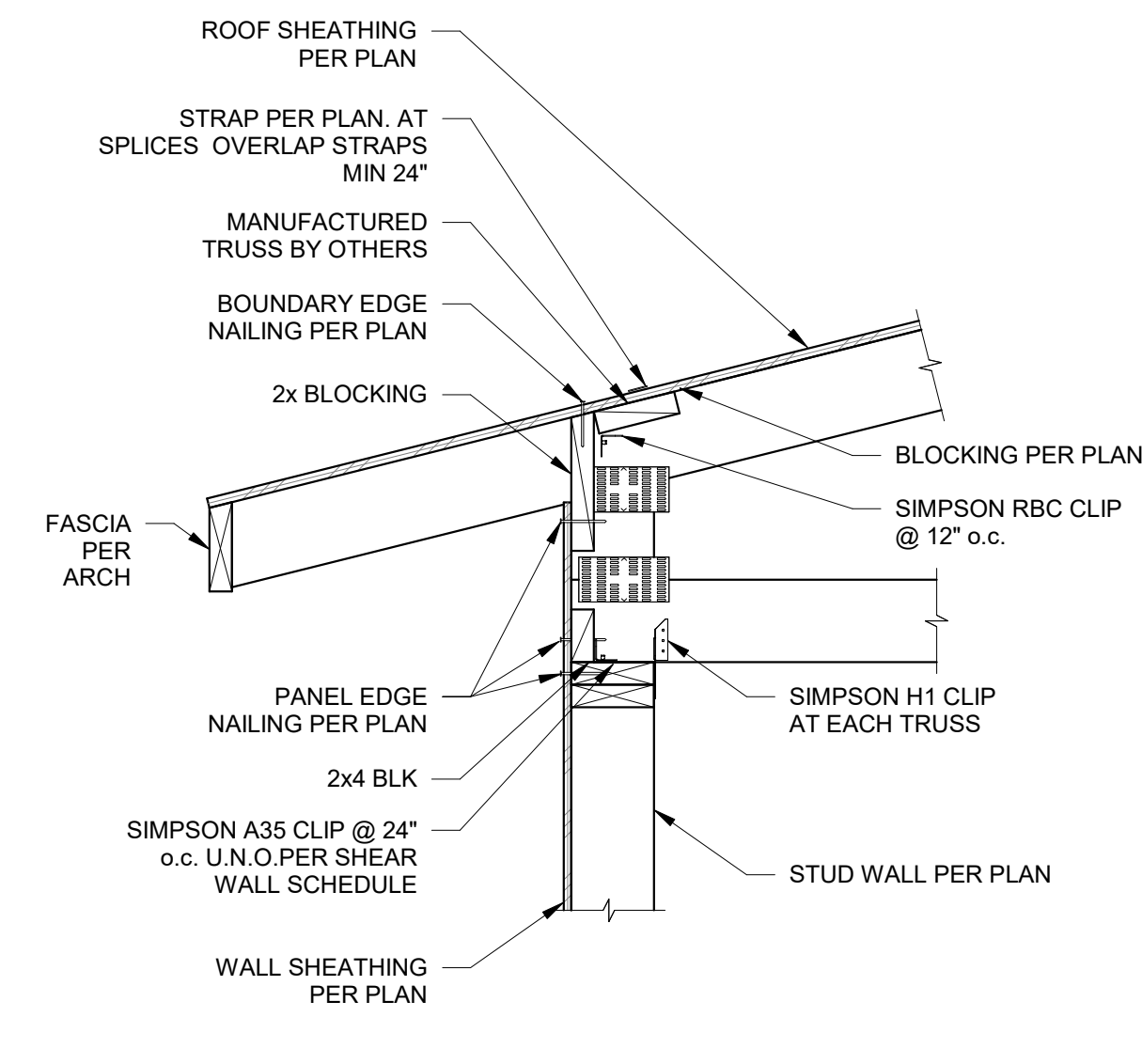
REVISIONS:		
#	DESCRP.	DATE
1	ADD 4	08.29.2025
2	ADD 5	09.05.2025
4	ADD 7	09.17.2025

ISSUE DATE: 08/01/2025

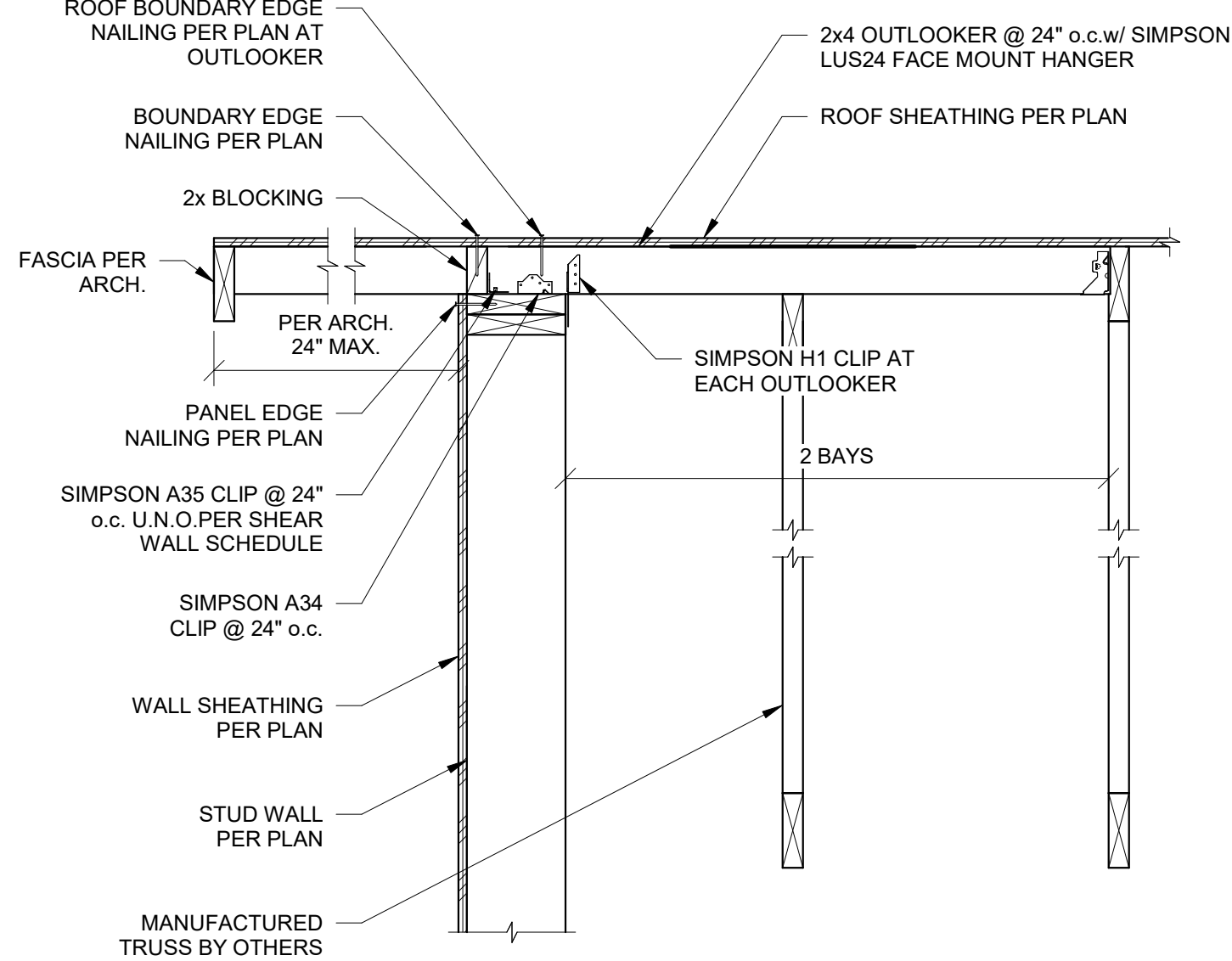
S213



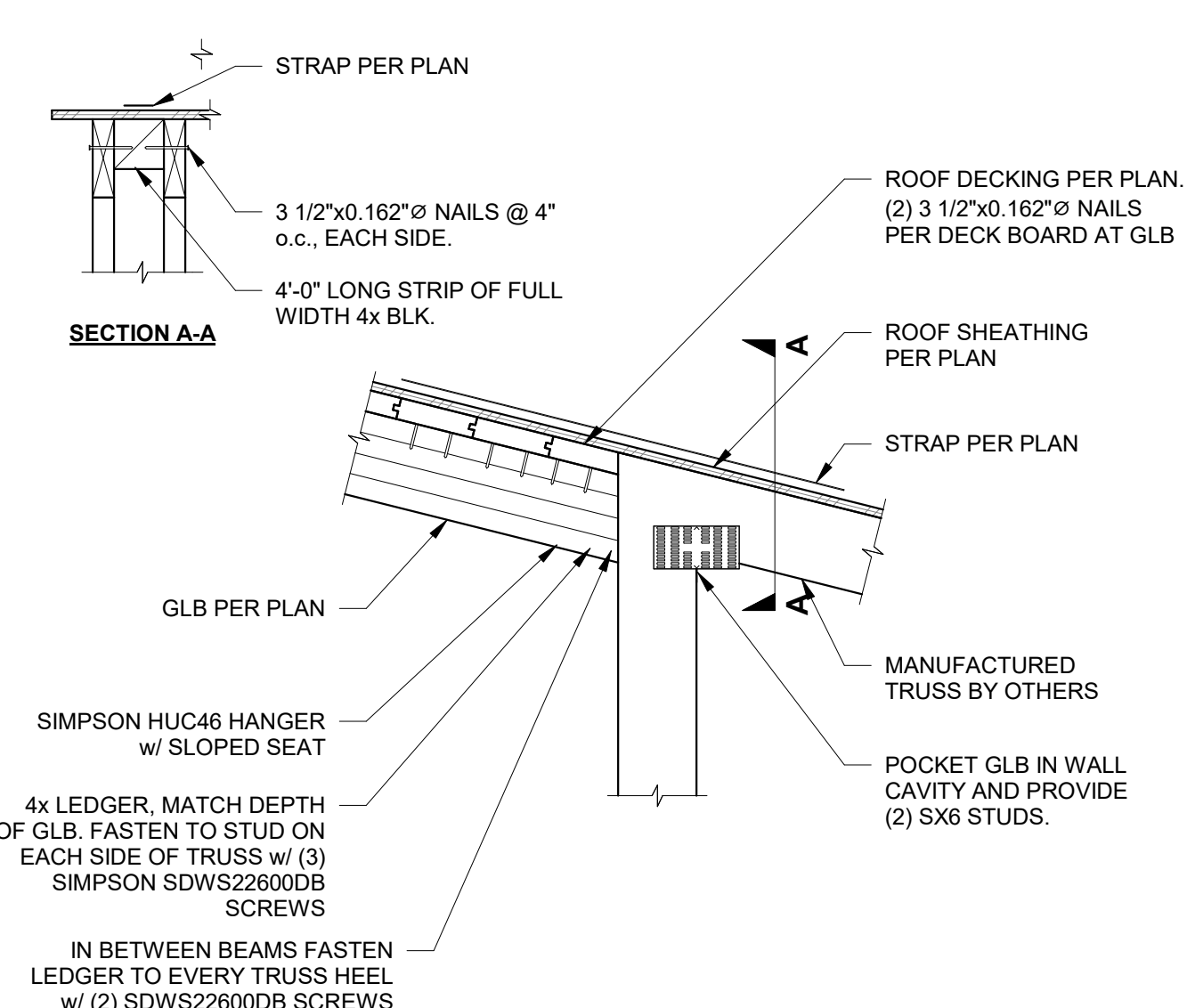




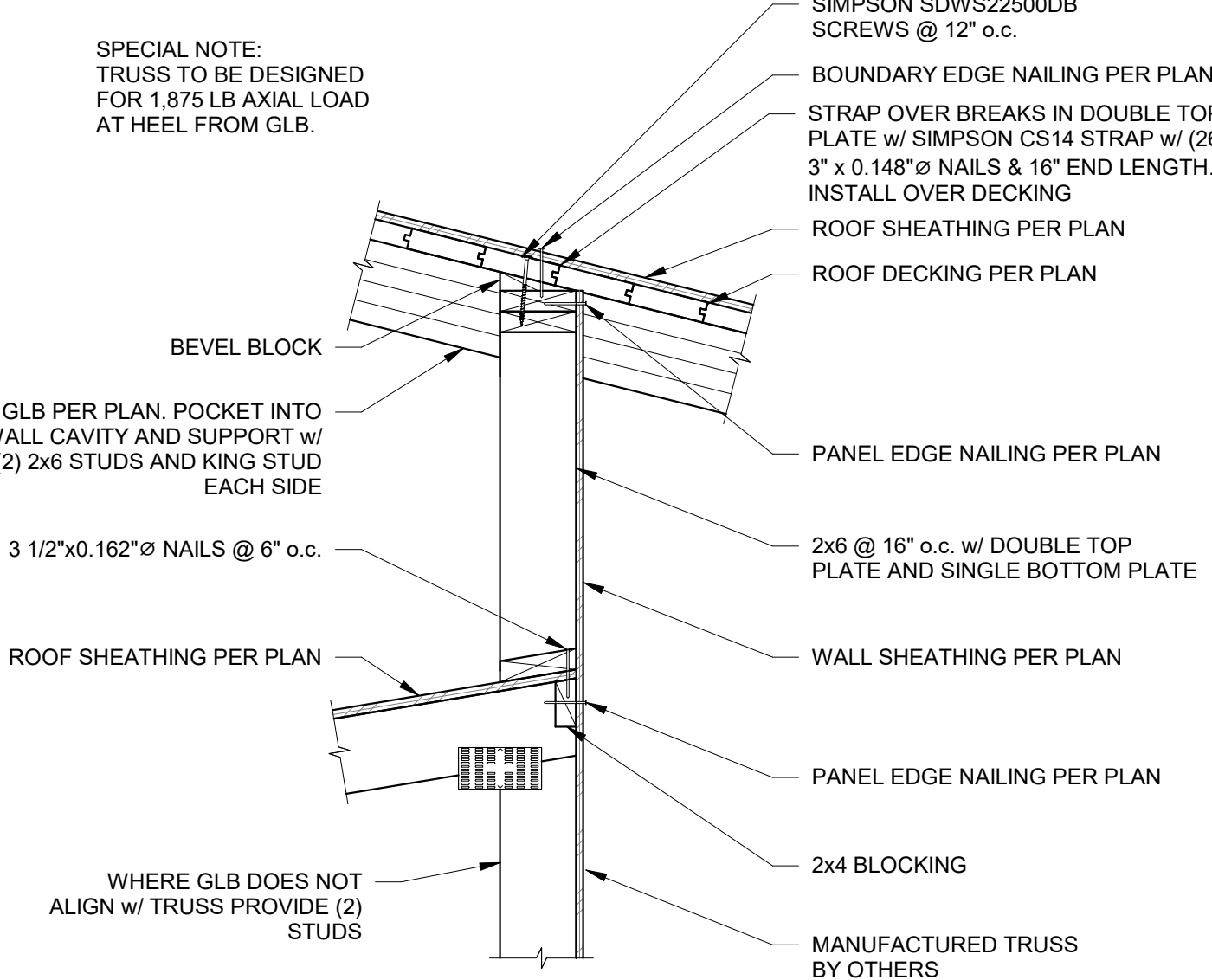
1 TYP. HEEL TRUSS AT EXTERIOR SHEAR WALL  
S501 1" = 1'-0"



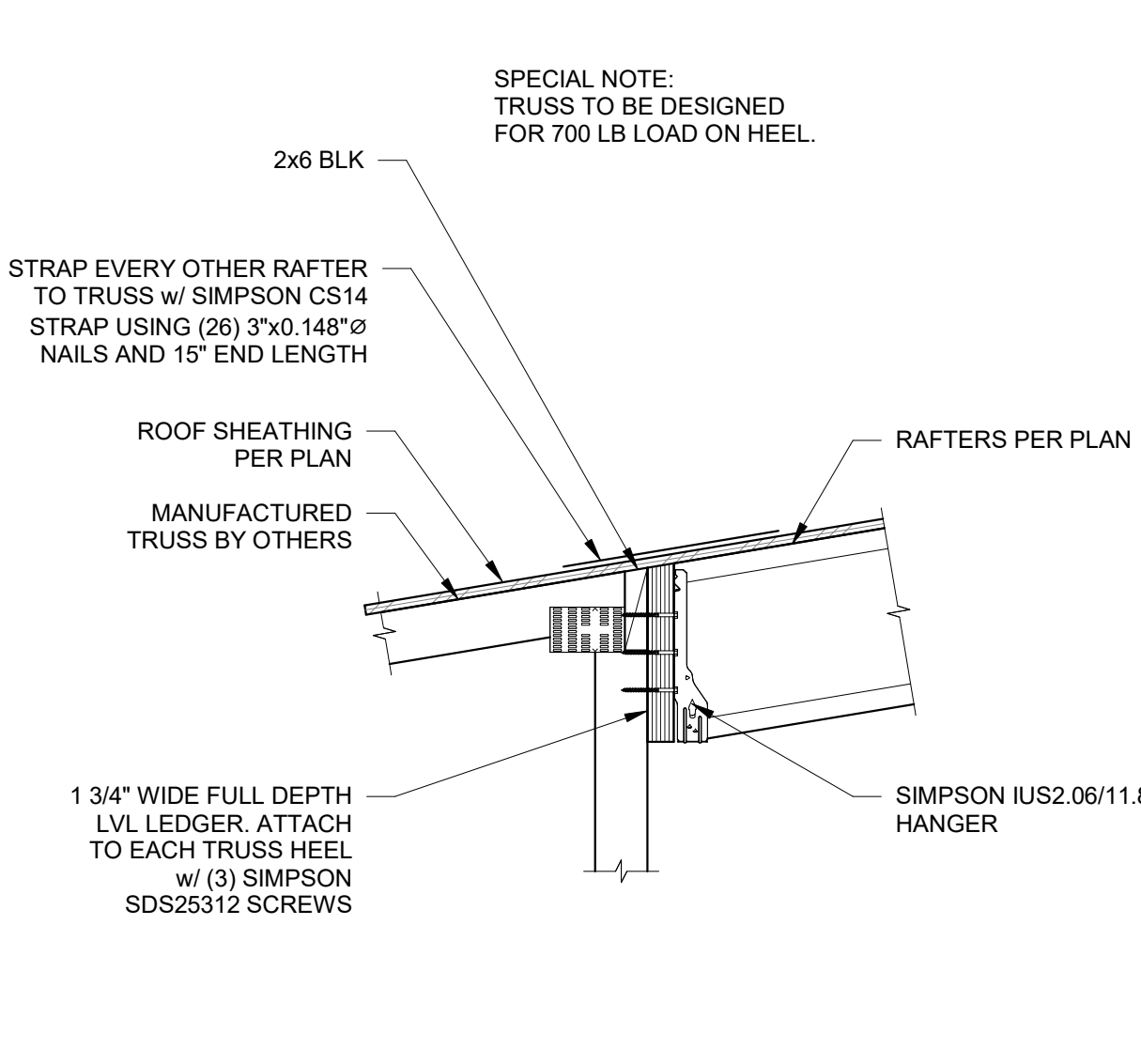
2 RAKE WALL GABLE END w/ OUTLOOKERS  
S501 1" = 1'-0"



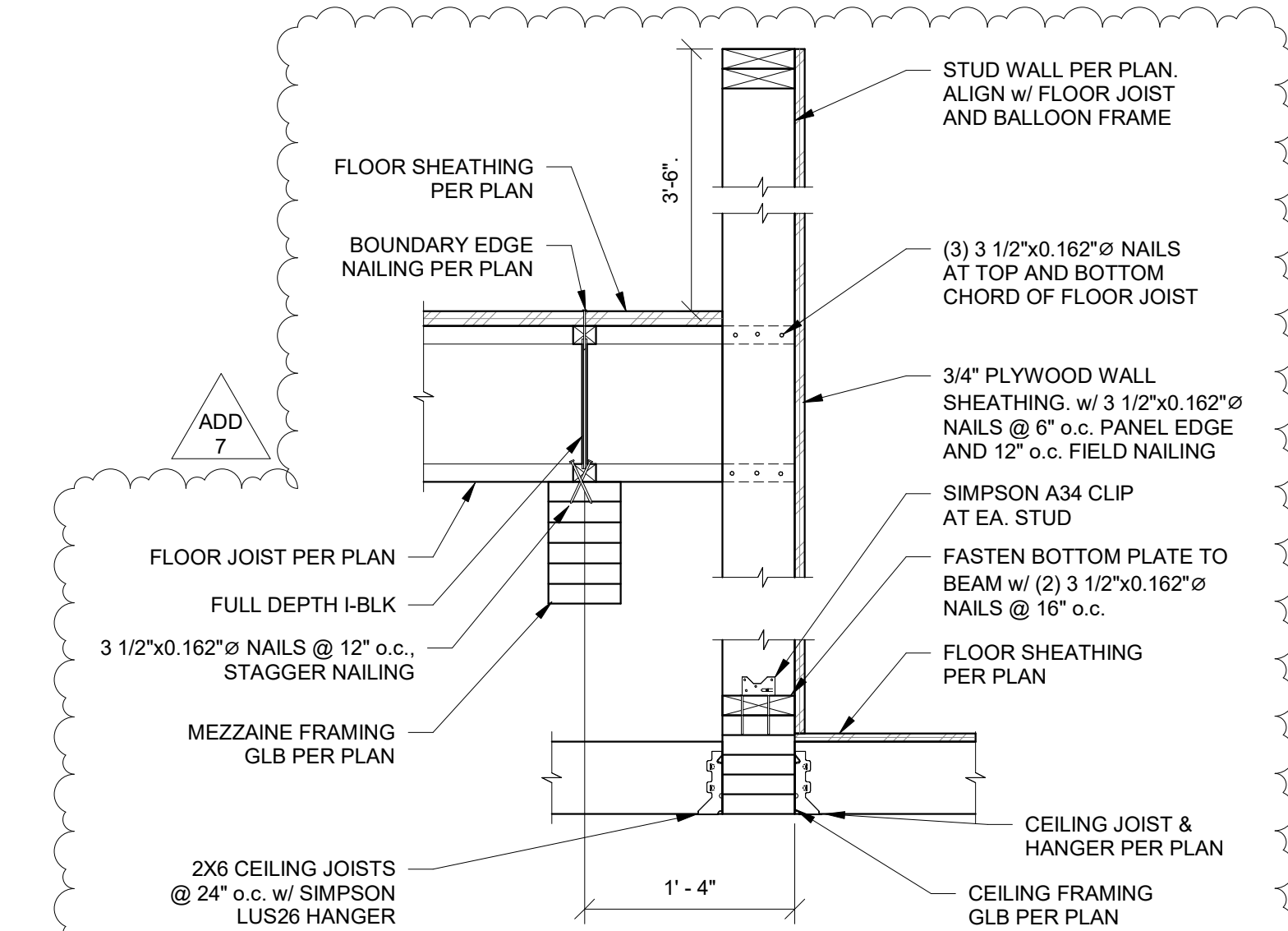
3 HALLWAY GLB TO TRUSS HEEL  
S501 1" = 1'-0"



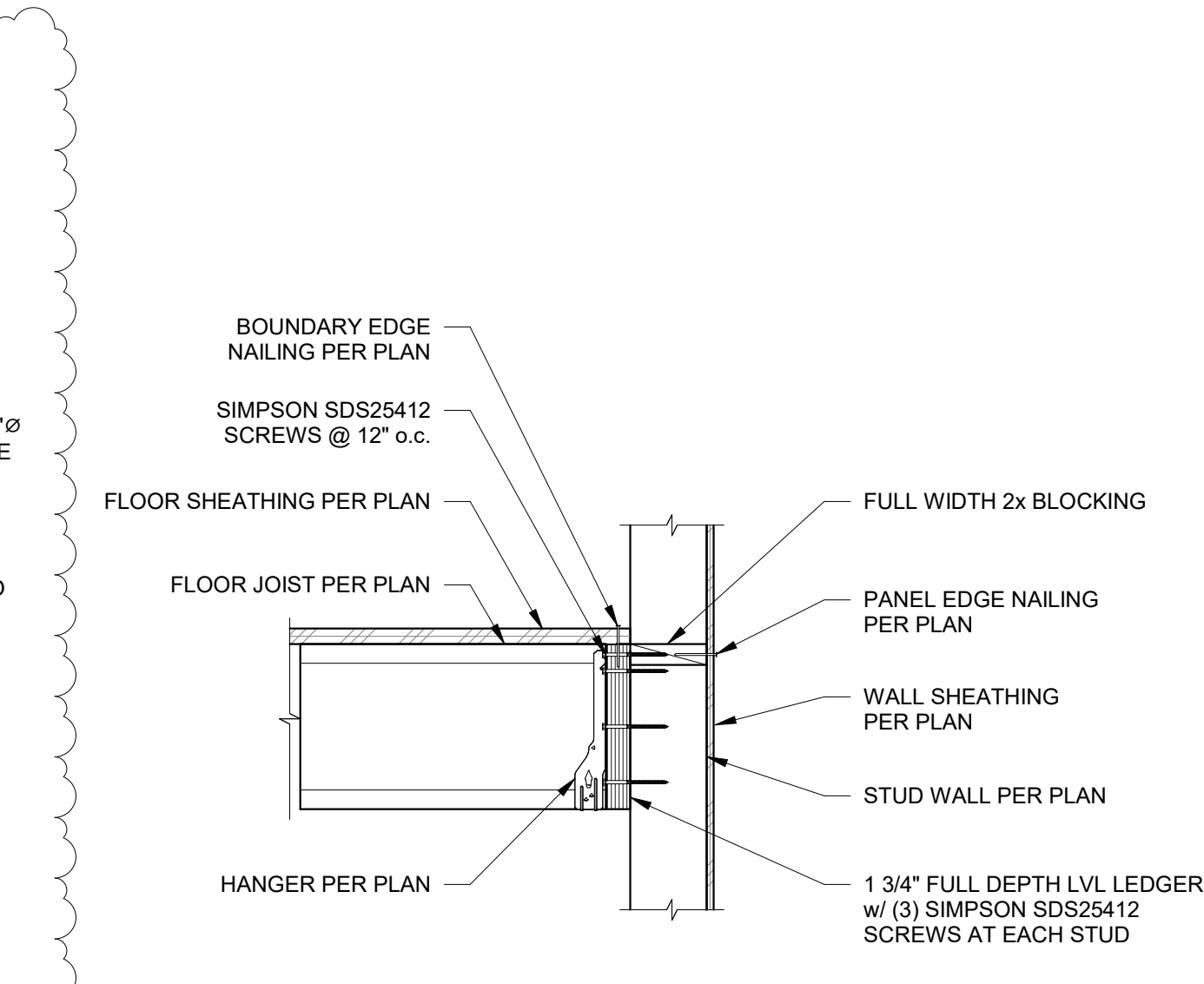
4 STUD WALL TO PERPENDICULAR GLB  
S501 1" = 1'-0"



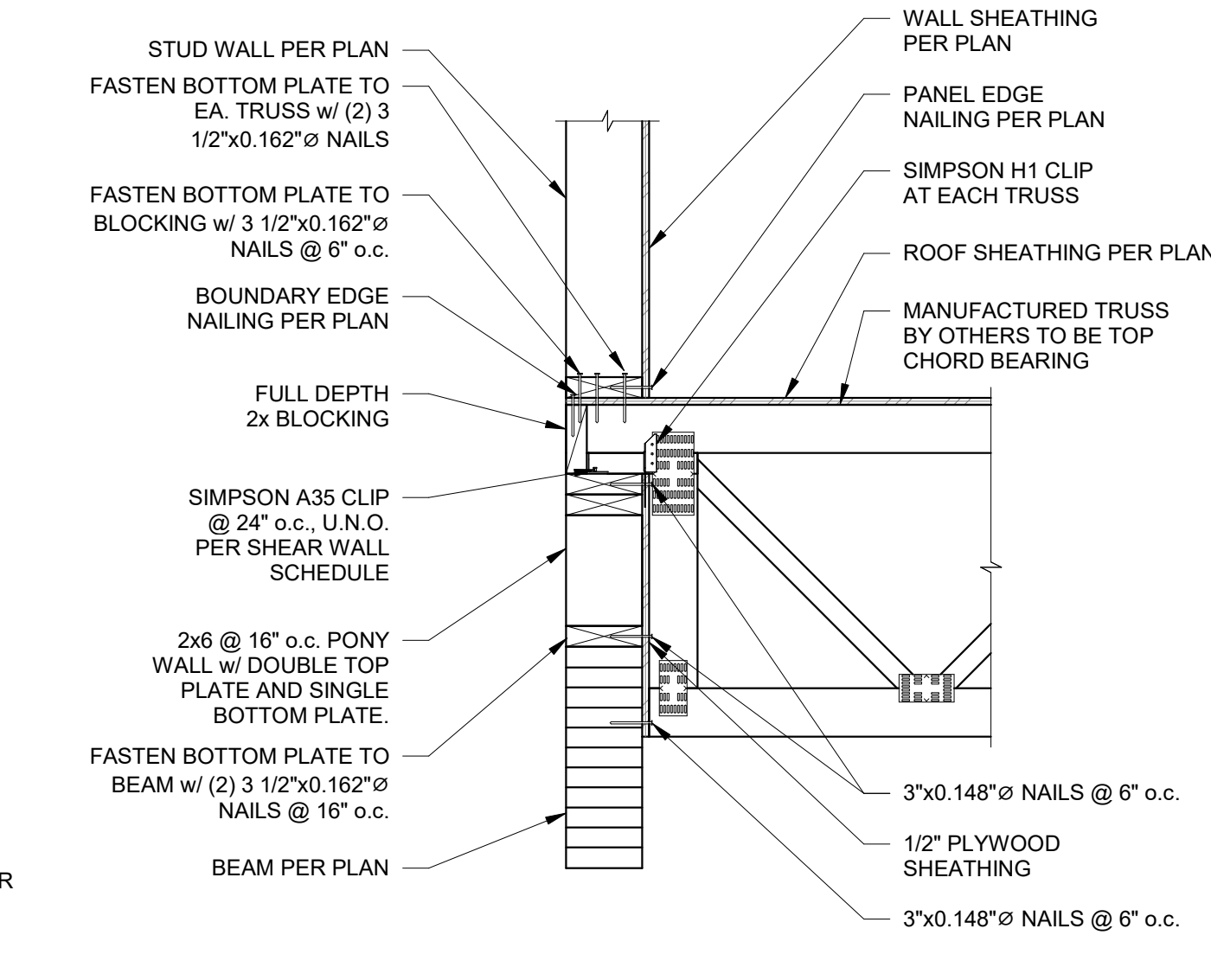
5 RAFTERS TO PARALLEL TRUSS  
S501 1" = 1'-0"



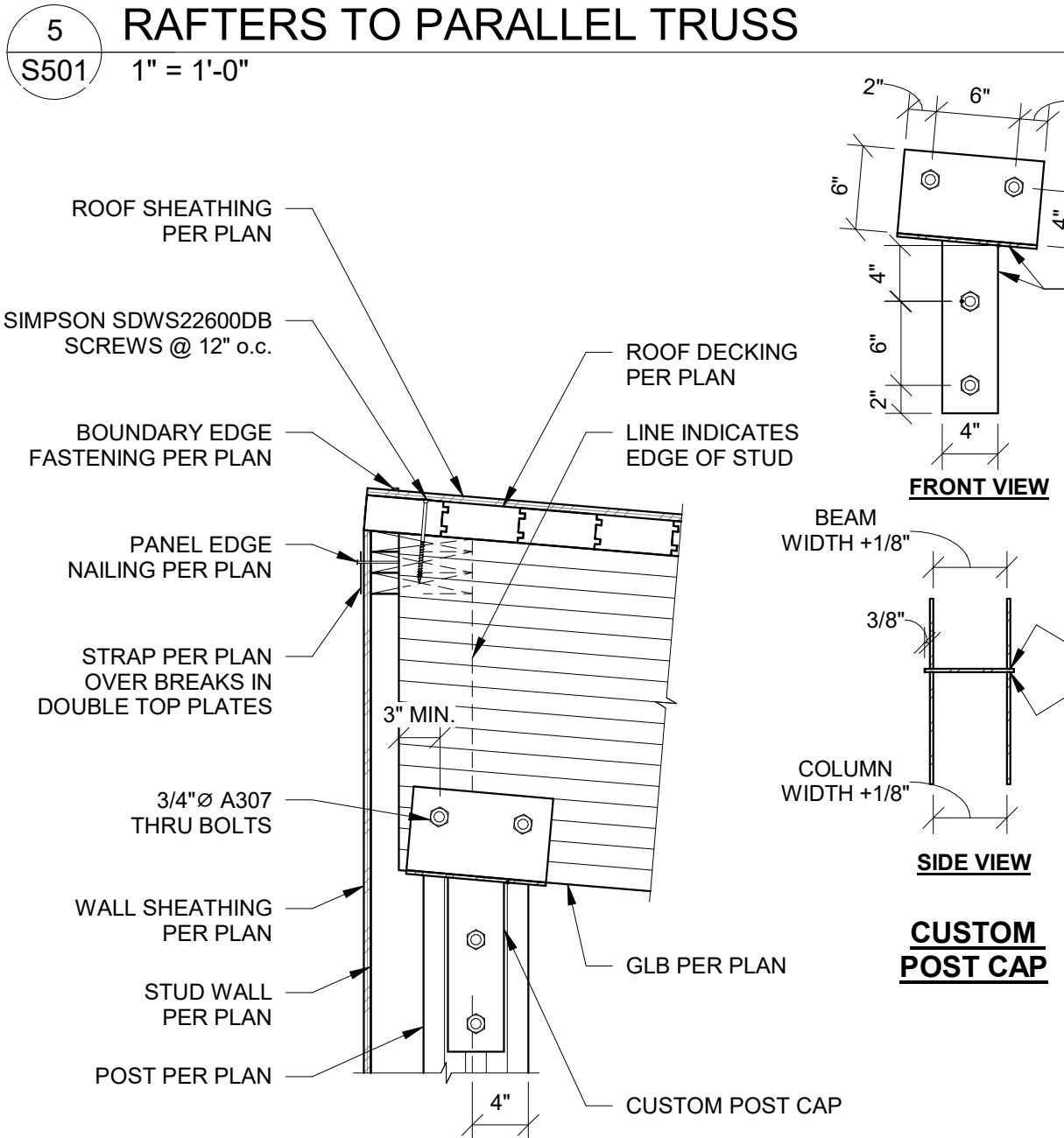
6 MEZZANINE JOIST TO BEAM  
S501 1" = 1'-0"



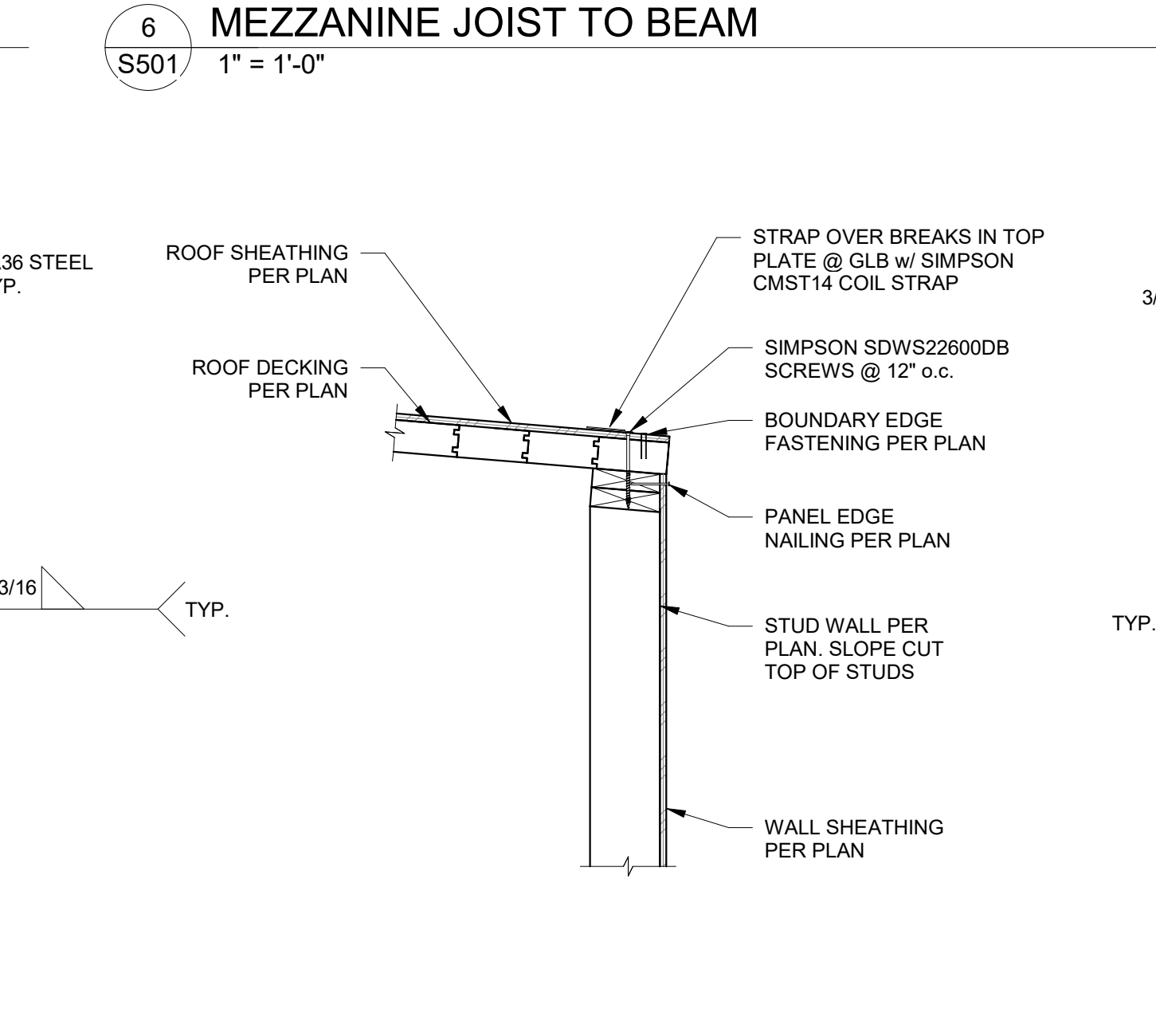
7 MEZZ. JOIST TO STUD WALL AT SHEAR WALL  
S501 1" = 1'-0"



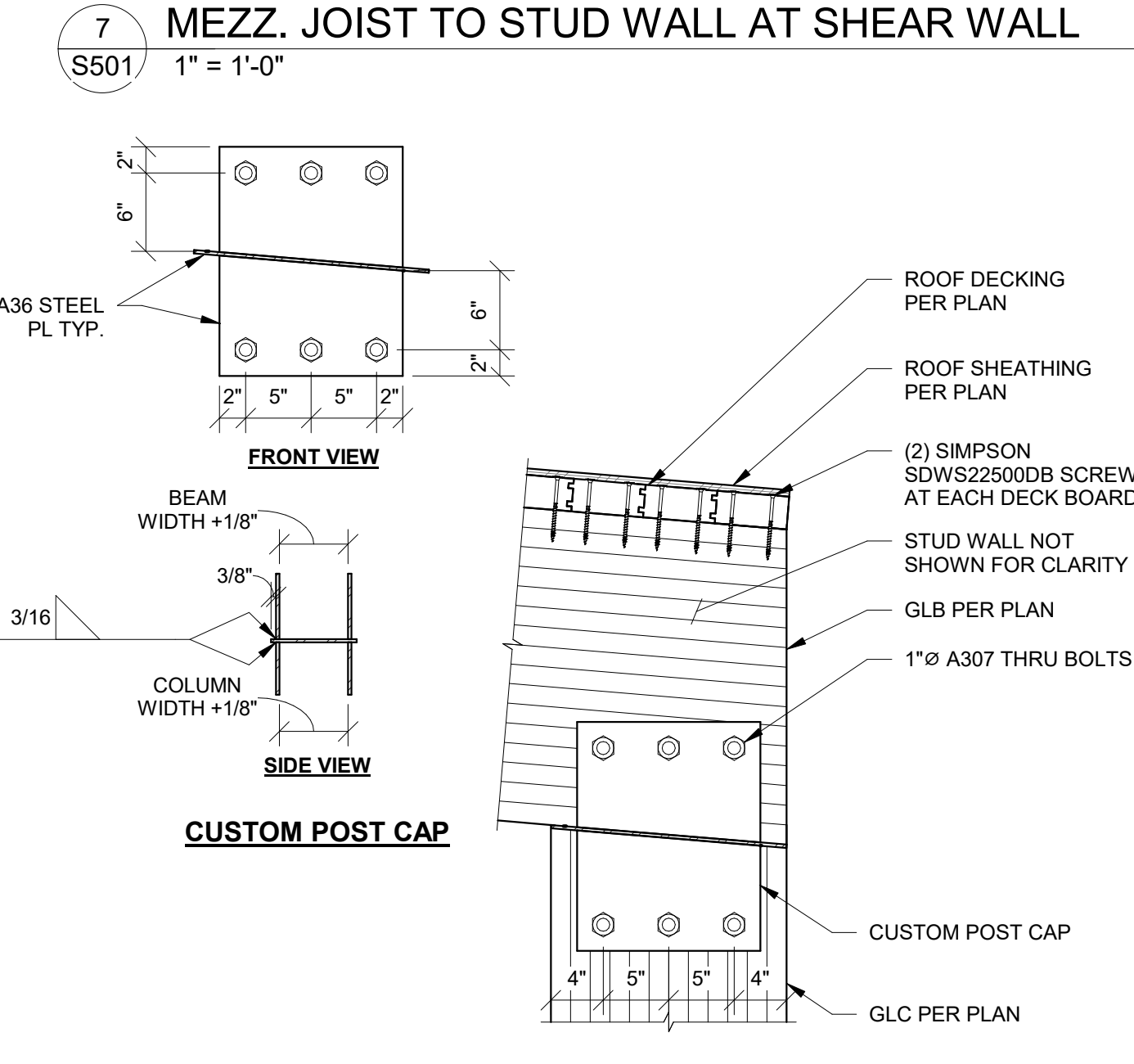
8 BEAM TO COLUMN CONNECTION AT LOW ROOF  
S501 1" = 1'-0"



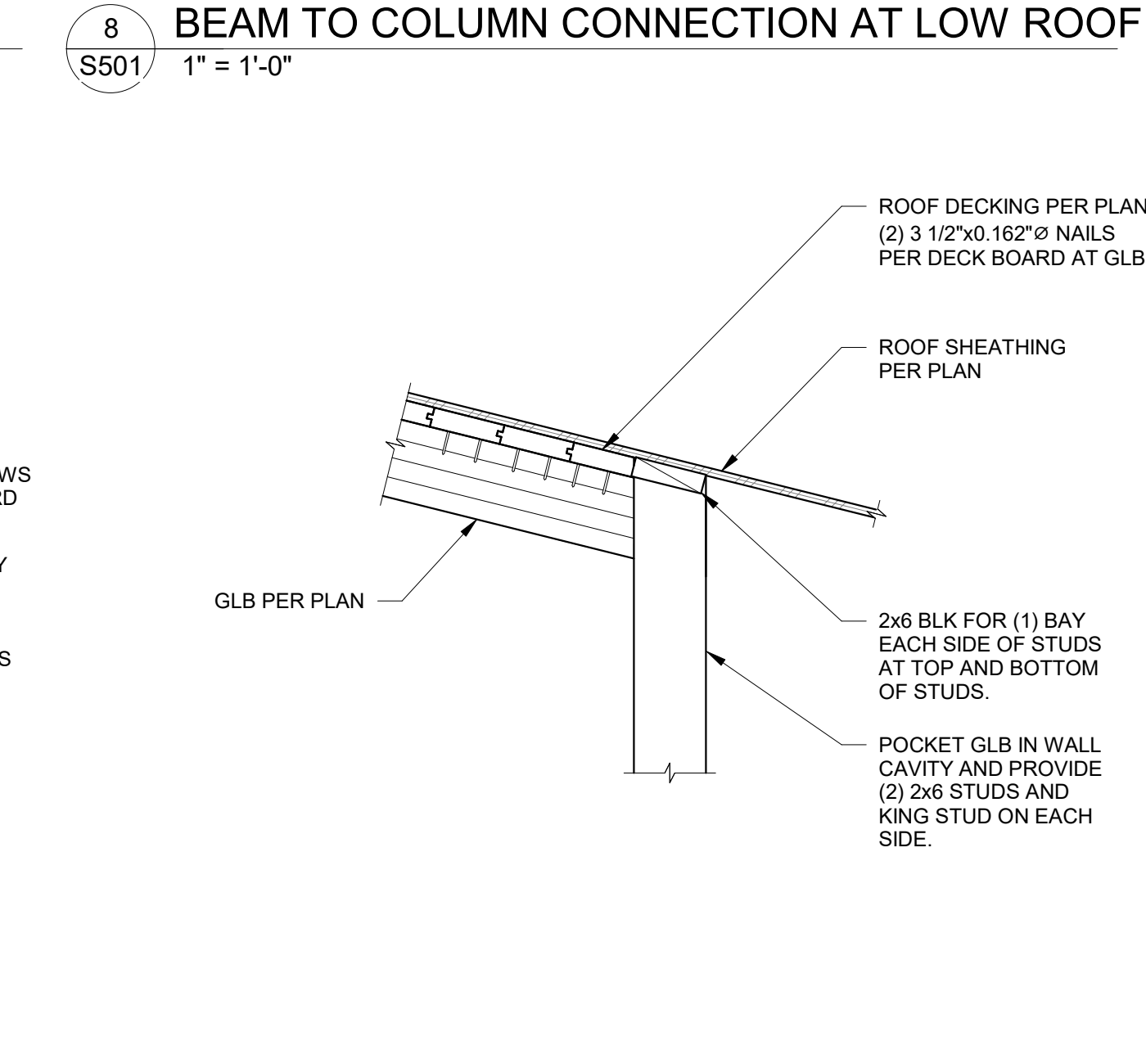
9 ROOF TO BEAM CONNECTION  
S501 1" = 1'-0"



10 ROOF DECK TO SHEAR WALL  
S501 1" = 1'-0"



11 ROOF TO BEAM CONNECTION  
S501 1" = 1'-0"



12 HALLWAY GLB OFFSET w/ TRUSS  
S501 1" = 1'-0"